

Compliance and Dispute Resolution

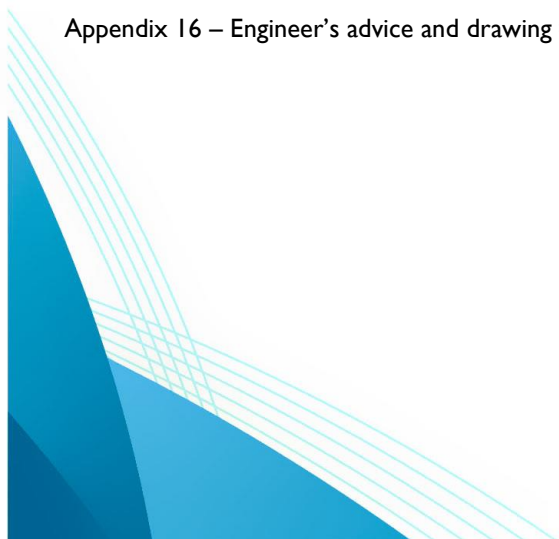
Audit Report

Protection Work Audit

Hobart Rivulet/Cat and Fiddle Arcade collapse 27 July 2016

19/10/2016

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Background

On the morning of 27 July 2016 the Hobart Rivulet wall collapsed into the adjoining construction site for the Myer development at 54-59 Murray Street, Hobart. Several tenancies of the Cat and Fiddle Arcade, 49-51 Murray Street, supported by the Hobart Rivulet collapsed or partially collapsed into the rivulet and adjoining Myer construction site.

On 2 August 2016 the Director of Building Control (the Director) required, under Section 50C of the *Building Act 2000* (the Act), the production of records pertaining to protection work, from:

- Hutchinson Builders – as the builder responsible for the Myer development
- Hobart City Council – as the owner of the Hobart Rivulet
- Mr Barry Nielsen – as the Building Surveyor engaged for the Myer development

An additional request for information under Section 50C of the Act was made of E. Kalis Properties Pty Ltd on 15 August 2016 requesting information pertaining to any surveys undertaken and all photographs depicting the underpinning process for the Myer construction site.

This report details an administrative audit into the documentation obtained by Consumer, Builder and Occupational Services (CBOS) pertaining to the protection work process followed by all relevant parties as required by the Act.

Legislative Authority

This report is produced by persons authorised under Section 50A(1) of the Act:-

(1) The Director may arrange for audits to be carried out of the work of any person or body referred to in section 7(h).

Section 7h of the Act defines the persons and/or bodies that may be audited by the Director:-

(h) to audit the performance of the following:

(i) owners;

(ii) owner builders;

- (iii) plumbers;*
- (iv) building practitioners;*
- (v) permit authorities;*
- (vi) general managers;*
- (vii) councils;*

Scope of Audit

This audit was conducted to determine if the requirements of the legislative process for protection work were adhered to by the relevant parties.

This audit is limited to a review of documentation associated with the legislative process for protection work. This audit does not in any way provide explanation or causal analysis of the collapse.

On 21 September 2016 a draft version of this Audit Report was provided to Pitt&Sherry, E. Kalis Properties Pty Ltd, Silverleaf Investments Pty Ltd, Hobart City Council and Hutchinson Builders. Recipients of this draft report were provided with opportunity to make submissions in respect to the draft report's findings. Based on submissions received, findings questioning the inclusion of underpinning and other 'protection work' in the building certification and approval have been amended in this report.

Legislative Protection Work Requirements

Section 12(1)(d) of the Act requires an owner to ensure that provisions for the protection of adjoining property are carried out in accordance with the Act:-

(1) The owner of a building who authorises building work in respect of the building, so far as is reasonably practicable, is to ensure that –...

...(d) provisions for the protection of adjoining property are carried out in accordance with this Act

Schedule 3 of the *Building Regulations 2014* (the Building Regulations) specifies the circumstances in which an owner is required to carry out protection work. Specifically, Schedule 3 1(i) states:-

- (i) if the building owner intends to erect, or excavate to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner.*

Part 9, Division 2 of the Act specifies the process that must be followed when protection works are required by the Building Regulations.

Section 121 of the Act specifies the process of notification to adjoining owners where protection work is required:-

(1) An owner who is required by the Building Regulations to carry out protection work must notify the adjoining owner and the building surveyor of the proposed building work and the proposed protection work...

...(2) The notice is to –

- (a) be in the approved form; and*
- (b) include details of the proposed building work as at the date of the notice; and*
- (c) include details of the proposed protection work setting out –*
 - (i) the nature and particulars of the protection work; and*
 - (ii) the proposed program for undertaking the protection work.*

Section 124 of the Act specifies the requirement for the adjoining owner to reply:-

(1) An adjoining owner, within the specified period after receiving notice of proposed building work and proposed protection work, is to notify the owner that he or she –

- (a) agrees to, or disagrees with, the details of the proposed protection work; or*
- (b) requests changes to be made.*

(2) An adjoining owner who fails to respond within the specified period is taken to have agreed to the proposed protection work.

The period referred to in Section 124(2) is specified as 'within 21 days' by the Directors Specified List.

Section 127 of the Act prohibits building work commencing until such time as the proposed protection work is agreed to or determined appropriate.

An owner must not carry out any building work until –

- (a) the adjoining owner agrees or is taken to have agreed to the proposed protection work; or*
- (b) in the case of a disagreement, a building surveyor determines that the proposed protection work is appropriate; or*
- (c) in the case of an appeal in relation to the proposed protection work, the appeal is determined by the Appeal Tribunal*

Section 130 of the Act specifies how the protection work must be carried out:-

Any protection work must be carried out –

- (a) in accordance with –*
 - (i) any agreement under section 124; or*
 - (ii) any requirements of a building surveyor under section 129; or*
 - (iii) any determination of the Appeal Tribunal in respect of the matter; and*
- (b) as quickly as practicable in the circumstances; and*
- (c) in accordance with this Act.*

Sequence of Events

The below sequence of events is exclusively based upon information provided to CBOS as part of this audit.

12/09/2012	Structural drawing produced by Gandy and Roberts including 'rivulet retaining wall' detail (Appendix #1)
23/11/2012	Certificate of Likely Compliance #BS5003 issued by Mr Joseph Mamic, for 'proposed new Myer building' at 'Liverpool and Murray Streets. (Appendix #2)
30/11/2012	Building Permit #BLD-11-00826-01 issued by Hobart City Council for 'proposed new Myer building' at 55-59 Murray Street, Hobart (Appendix #3)
16/01/2013	Hobart Rivulet - Structural Condition Report and Stability Assessment report 'Revision B' produced by Gandy and Roberts for E. Kalis Properties Pty Ltd.
14/07/2015	Certificate of Likely Compliance #HP20150329/0 issued by Mr Barry Neilsen – Pitt and Sherry, for New Building at 55-59 Murray Street. (Appendix #4)

23/07/2015	Amended Building Permit #BLD-11-00826-01 issued by Hobart City Council or 'proposed new Myer building' at 55-59 Murray Street, Hobart (Appendix #5)
31/05/2016	Excavation of Myer site to Hobart Rivulet/Cat and Fiddle Arcade boundary (Appendix #6)
01/06/2016	Underpinning to the Hobart Rivulet commenced (Appendix #7)
02/06/2016	Inspection undertaken of underpinning bases by Owen de la Motte –Gandy and Roberts (Appendix #8)
07/06/2016	Written consent to proceed provided to Hutchinson Builders by Mr Roland Wierenga – Pitt and Sherry (Appendix #9)
21/06/2016	Form 6 pertaining to Hobart Rivulet signed by Mr Emmanuel Kalis and Mr Nick Heath (Appendix #10)
21/06/2016	Form 6 pertaining to Cat and Fiddle Arcade signed by Mr Emmanuel Kalis (Appendix #11)
22/06/2016	Excavation/underpinning ongoing of area subject to collapse (Appendix #12)
04/07/2016	Cracking of internal lining/concrete floors of Cat and Fiddle Arcade tenancies photographed (Appendix #13)
14/07/2016	Further cracking of internal lining/concrete floors of Cat and Fiddle Arcade tenancies photographed (Appendix #14)
14/07/2016	Email sent from Mr Gerard O'Brien acknowledging cracking occurring (Appendix #11)
27/07/2016	Structural collapse of Hobart Rivulet and Cat and Fiddle Arcade

Review of Documentation Received

Plans and documents submitted for Certificate of Likely Compliance

A Certificate of Likely Compliance is the document by which the Building Surveyor indicates to the Owner and the Permit Authority that s/he has assessed the plans and regulatory documents submitted and that they are likely in compliance with the Building Act and National Construction Code. The plans appended to the Certificate of Likely Compliance are the approved plans for construction. Significant variations from the plans requires Building Surveyor, and in most cases Permit Authority, approval by way of an amended certificate of likely compliance and amended building permit.

The documents show that an initial Certificate of Likely Compliance was issued on 23 November 2012 by Building Surveyor Mr Joe Mamic, resulting in a Building Permit being issued on 30 November 2012. A second Certificate of Likely Compliance was issued on 14 July 2015 with an amended Building Permit issued on 23 July 2015.

The Certificate of Likely Compliance issued by Mr Joe Mamic does not specifically call up 'underpinning' rather it is general in that the 'type of work' specified states 'Proposed new Myer Building' calling up building code classifications 3, 6 & 9b only. Mr Joe Mamic's certificate references structural certification (form 55) #10.0062 as produced by Mr David Visentin of Gandy and Roberts Pty Ltd. This certificate nominates its 'scope or limitation' as, '*footings, slabs, steel and timber framing, masonry walls*'. Certificate #10.0062 references structural drawing #S403 produced by Gandy and Roberts, this drawing includes a sectional detail (Appendix #1) entitled '*rivulet retaining wall (stage 1 & 2)*' that includes detail of underpinning to the Hobart Rivulet. Structural drawing #S403 is stamped by Mr Joe Mamic and the Hobart City Council's Permit Authority.

The Certificate of Likely Compliance issued by Mr Barry Neilsen (Appendix #4) nominates the classification of building as 'Mixed' and type of work as 'New building'. Mr Barry Neilsen's certification under the title 'conditions' states: '*(to be read in conjunction with Certificate of Likely Compliance dated 23/11/12 issued by Joe Mamic and ensuing Building Permit No BLD-11-00826-01 dated 30/11/12)*'. Mr Barry Neilsen's certification does not directly reference underpinning, nor does it nominate structural drawing #S403 as a required document.

Notwithstanding the lack of clarity in certification/approval, the engineering drawing #S403, including underpinning details, has been stamped by both Mr Joe Mamic and the HCC Permit Authority. As such this aspect of the building work must be considered as permitted.

Notices to Adjoining Owners

CBOS obtained two separate 'Notice to Adjoining Owner (proposed building and protection work)' (Form 6) documents, as follows:

- A Notice to HCC from E. Kalis Properties Pty Ltd – In reference to protection of HCC's Hobart Rivulet.
- A Notice to Silverleaf Investments Pty Ltd from E. Kalis Properties Pty Ltd – In reference to protection of Silverleaf Investments Pty Ltd's 'Cat and Fiddle Arcade'.

Both Notices are on the Director of Building Control's Approved Form 6. The Form 6 is intended for use as a written agreement between adjoining owners when one such owner intends to undertake building work falling into the categories specified in Schedule 3 of the Building Regulations. This form requires the owner intending to perform building and protection works to nominate: details of the proposed building work, details of nature and particulars of the proposed protection work and the proposed program for undertaking protection work. The Form references Section 124 of the Act and has provision for both owners to sign acknowledging their agreement. This Form is required to be forwarded to the Building Surveyor engaged to certify the proposed building work.

In reviewing these documents, CBOS found the following:

Notice from E. Kalis Properties Pty Ltd to Hobart City Council

- This document, in the section 'details of the proposed building work' states:-

Construction of a 10 storey + basement retail building

- This document, in the section 'details of nature and particulars of the proposed protection work' states:-

Underpinning of existing sandstone & masonry walls to the NW side of the Hobart Rivulet which afford support to the Cat & Fiddle boundary walls and to Arnolds Lane

- This document, in the section 'proposed program for undertaking protection work' states:-

The project has commenced and will be completed in November 2018

This document was signed by Mr Emmanuel Kalis and Mr Nick Heath (General Manager HCC) on 21 June 2016.

Work pertaining to this notice had commenced in May 2016.

On 14 September 2016 CBOS received additional correspondence from Mr Barry Neilsen, including an email (Appendix #15) sent to Ms Jennifer Flanagan (Hobart City Council) by Mr Jack Sutton (Hutchinson Builders) on 26 May 2016. This email is notification of the protection work to be undertaken and includes an engineer's direction and plan (Appendix #16) in attachment.

Notice from E. Kalis Properties Pty Ltd to Silverleaf Investments Pty Ltd

- This document, in the section 'details of the proposed building work' states:-

Construction of a 10 storey + basement retail building

- This document, in the section 'details of nature and particulars of the proposed protection work' states:-

Underpinning of existing sandstone & masonry walls to the NW side of the Hobart Rivulet which afford support to the Cat & Fiddle boundary walls

- This document, in the section 'proposed program for undertaking protection work' states:-

The project has commenced and will be completed in November 2018

This document was signed by Mr Emmanuel Kalis on 21 June 2016 and has not been signed by the adjoining owner (Silverleaf Investments Pty Ltd).

Work pertaining to this notice had commenced in May 2016.

Documentation provided with this Form from the building surveyor, Mr Barry Neilsen includes an email with the subject: *FW: Cat & Fiddle – Floor monitoring survey*, dated 28 July 2016, from Mr Richard Crawford of Architects Designhaus to Mr Barry Neilsen. This email states:

'FYI please find email from Silverleaf regards issues surrounding From 6'

Included in this communication is an email with the subject: *'RE: Cat & Fiddle – Floor monitoring survey'*, dated 14 July 2016, from Mr Gerard O'Brien, Company Director – Silverleaf Investments Pty Ltd to Mr Rod Kershaw (Builder – Medium Rise CCI148Y – Construction 3 Pty Ltd) and Mr Anthony Collins (PDA Surveyors) with carbon copy sent to Mr Craig Bowman, Mr Owen de la Motte and Mr Richard Crawford. This email states:

'Hi Rod ,Anthony

I trust Owen's judgement completely and feel that we should just observe and let him complete the task at hand. I see little or no value in us all having surveyors checking each other. Owen today has agreed to continue to update weekly and immediately re grout the cracks in Dotti and Portman and fix the doors

that are jamming. He also agreed that on completion of the works they will repair the cracks and any other damage properly.

Owen with your clients permission can you please confirm the above and we will then step back and allow you to finish the works. Can you also please confirm the screw piling methodology being used as we do not want you to be vibrating next to these heritage buildings.

Regards

Gerard'

Based on the information provided the following is noted:

- The field in the Form 6 entitled 'proposed program for undertaking protection work' has been completed contrary to its purpose in that it states:-
The project has commenced and will be completed in November 2018
- Silverleaf Investments Pty Ltd have not agreed to the protection work specified on the Form 6 either by signing the Form 6 or in any other documentation obtained by CBOS.
- The email sent by Mr Richard Crawford to Mr Barry Neilsen was sent the day following the collapse.
- The email from Mr Gerard O'Brien dated 14 July 2016 references damage occurring in the tenancies that collapsed on 27 July 2016.

Audit Findings

1. Based on the information provided to me, the legislative process for protection work was not adhered to by the responsible parties, in that:

Work meeting the circumstances specified in the Building Regulations Schedule 3 1(i) (requiring protection work) took place 22 days (refer Appendix #6) prior to the Owner of the Myer development (E. Kalis Properties Pty Ltd) commencing the protection work process specified in Section 121 of the Act. As such, E. Kalis Properties Pty Ltd has failed to comply with:

- i. Section 12 of the Act, 'Duties of Owners';
 - ii. Section 121 of the Act, 'Notice of proposed building work';
 - iii. Section 127 of the Act, 'Work not to be carried out in certain cases', and;
 - iv. Section 130 of the Act, 'Protection work'.
2. Documentation obtained by my office in this audit show that representatives of Silverleaf Investments Pty Ltd, Gandy and Roberts Consulting Engineers, Architects Designhaus, PDA

Surveyors and Hutchinson Builders were aware of not insignificant damage occurring to tenancies in the Cat and Fiddle Arcade buildings 22 days prior to the structural failure of the same buildings (refer Appendix #13).

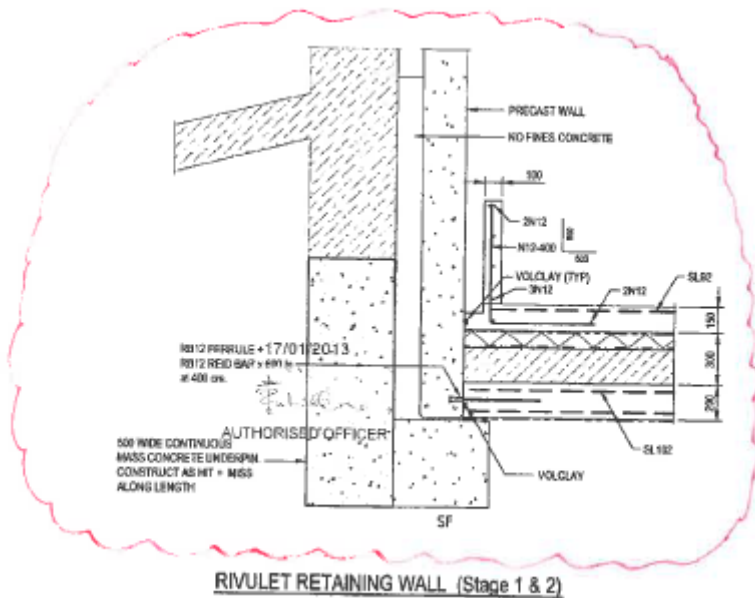
3. The building approval documentation for this project is not clear as to the extent of building work certified initially by Mr Joe Mamic, subsequently forming part of Mr Barry Neilsen's certification. The Certificates of Likely Compliance issued by the Building Surveyors do not specifically call up underpinning as a type or classification of work. Further, the Building Permit for the work does not specifically reference underpinning or protection work.

I accept that the certification and permit process followed is not atypical and as such I do not make a finding adverse to any party in respect to the building certification and approval process, however this audit has highlighted the need for my office to ensure greater clarity and control in respect of the documentation and certification of protection work. The tools to address this are available as a part of the Tasmanian Governments' new building regulatory framework which will be implemented on 1 January 2017.



Dale Webster
Director of Building Control

Appendix I



Appendix 2

Director of Building Control - data approved 28 June 2007 Building Regulations 2004 - Approved Form No. 11 -
ACCESSION NUMBER No. CCA 1111

CERTIFICATE OF LIKELY COMPLIANCE **Section 67**

To: Hobart Central Development, Liverpool and Murray Streets, Hobart, Tas. 7000 **Form 11**

Applicant/Owner/Owner builder details:

Owner: Kallis Properties, 139 Main Road, Moonah, Tas. 7009

Owner builder: Yes ☐ (X if applicable) Registration number: 17/04/2013

Contact address: 17/04/2013

Agent: [Signature] AUTHORIZED OFFICER

Address: [Blank] Email address: [Blank]

Building Surveyor details:

From: Joe Martin, 421 Elizabeth Street, North Hobart, Tas. 7000

Accreditation No. [Blank] Email address: [Blank]

Address: Liverpool and Murray Streets, Hobart, Tas. 7000

Type of work: Proposed new Myer building.

Use of building: Department store.

Category: Building Surveyor

Phone No: 03 6231 4422

Fax No: 03 6231 9277

Ltd No: [Blank]

Certificate of this No. [Blank]

Building class: 3 & 50

HCC CUSTOMER SERVICE
27/11/2012
RECEIVED

BUILDING PERMIT DOCUMENT

This document is one of the documents relevant to the permit issued for the building work as identified by Permit No: BLD-11-00926-01

Permit Authority Hobart City Council

JOB: MAIRC & ASSOCIATES P/L
CONSULTING ENGINEERS AND BUILDING SURVEYORS
PO BOX 143 NORTH HOBART TAS 7002

FOR: 0362 314422
FAX: 0362 319977
EMAIL: info@mairc.com.au

Office address: 1001, 471 Elizabeth St, Hobart, TAS 7002

HCC CUSTOMER SERVICE
27/11/2012
RECEIVED

BUILDING PERMIT DOCUMENT
This document is one of the documents relevant to the permit issued for the building work as identified by Permit No: BLD-11-00826-01
Permit Authority Hobart City Council

Accredited Building Practitioner details:

Architect - Designer: Richard Crawford, Designhaus, 293 Macquarie Street, Hobart, Tas. 7000
Phone No: 03 62345533
Fax No: 03 62232656
Email address: richard@architectdesignhaus.com

Accreditation No: CC988C
Category: Architect

Building - Designer: N/A
Business name: Hobart, Tas. 7000
Phone No: 03 62232656
Fax No: 03 62232656
Email address: richard@architectdesignhaus.com

Accreditation No: CC988C
Category: Architect

Engineer - Designer: D. Visentin, Gandy & Roberts, 159 Davey Street, Hobart, Tas. 7000
Phone No: 03 62238877
Fax No: 03 62237183
Email address: mail@gandyandroberts.com.au

Accreditation No: CC263M
Category: Structural

Services - Designer: 1. D Monks, 2. N Stulp, 3. G Atherton, Johnstone McGee and Gandy, 117 Harrington Street, Hobart, Tas. 7000
Phone No: 03 62312555
Fax No: 03 62311535
Email address: infohbt@img.net.au

Accreditation No: 1. CC2333F, 2. CC2335C, 3. CC2329V
Category: Services Engineers

Builder: To be advised
Business name: Hobart, Tas. 7000
Phone No: 03 62312555
Fax No: 03 62311535
Email address: infohbt@img.net.au

Accreditation No: 1. CC2333F, 2. CC2335C, 3. CC2329V
Category: Builder

Certificate details:

In considering this application the following documents and matters were taken into account (s62 & s69) -
Details:
Required documents: (s62)
Required reports: (s69)
Required plans: (s69)
Required verification: (s69)
Certificates provided: (s69)
Notifications by FDC: (s64)
If historical or farm building:
Relevant permits or consent requirements under other Acts:
Director of Building Control - date approved 28 June 2007
Building Regulations 2004 - Approved Form No 11

HCC CUSTOMER SERVICE
27/11/2012
RECEIVED

BUILDING PERMIT DOCUMENT
This document is one of the documents relevant to the permit issued for the building work as identified by Permit No: BLD-11-00826-01
Permit Authority Hobart City Council

This certificate is granted subject to the following conditions -

Conditions	Origin
1. Chief officers report conditions 21(a), 21(b), 21(c), 21(d), 21(e) and 21(f) are to be satisfied prior to occupancy of stage 1.	B.S.
2. All workmanship and materials to be to NCC 2012 requirements and Australian Standards.	B.S.
3. All structural work is to be inspected as required by the certifying engineer and included in Building Surveyor within 7 days of each inspection conducted.	B.S.
4. All electrical, mechanical and hydraulic work is to be inspected as required by the certifying engineers and provided to the Building Surveyor within 7 days of each inspection conducted.	B.S.
5. Hot smoke test is to be undertaken to verify alternative solution to AS4391-1989 prior to occupancy. Mandatory test data recording is to be via astatic photography, video recording and ceiling temperature measurements as per section 5 of AS4391-1989. A mock-up test is to be undertaken prior to the test as per section 6 of AS4391-1989. Selection of a safe test fire size to be undertaken as per flow chart in Appendix 3 of AS4391-1989.	B.S.
6. The smoke management system is to comply with Part E2 of NCC 2012 in particular the velocity of making air to comply with section 6 of AS4391-1989.	B.S.
7. All lifts to be installed to NCC 2012 requirements particularly the 8. Occupancy numbers are not to exceed the maximum numbers indicated below: Basement - 382 persons Ground Level - 700 persons Level 1, 2, 3, 4 - 482 persons per level Level 5 - 704 persons Level 10 - 230 persons	B.S.
8. Fire Engineer to inspect and certify as required during construction work and sign off prior to occupancy.	B.S.
9. No part of the building is to be built over the boundary. Proper set out to be undertaken and certified by qualified Land Surveyor.	B.S.
10. The various lifts are to be adhered into one lift prior to occupancy being issued.	B.S.

The following mandatory notification stages apply to this building work -

(X applicable one)	(X applicable one)
Pouring in the foundations: <input checked="" type="checkbox"/> Paving structural concrete: <input checked="" type="checkbox"/> Cladding or building-in structural frame: <input checked="" type="checkbox"/> Completing the building work: <input checked="" type="checkbox"/>	Electrical Work: <input checked="" type="checkbox"/> Mechanical Work: <input checked="" type="checkbox"/> Hydraulic Work: <input checked="" type="checkbox"/>

Building work referred to in this certificate has been assessed as an alternative solution under the BCA

Director of Building Control - date approved 28 June 2007

Building Regulations 2004 - Approved Form No 11

RECEIVED

BUILDING PERMIT DOCUMENT

his document is one of the documents relevant to the permit issued for the building work as identified by Permit No: BLD-11-00826-01

Permit Authority Hobart City Council

Alternative solution for matters not complying with DTS: Escalators, smoke exhaust, exit widths, fire hydrant coverage, hotel doors, fire hose reels, on-site fire fighting water storage, perimeter vehicle access to building, fire control centre, fire detection.

I certify that after assessment of the application submitted to me, I am satisfied that the building work to which this certificate applies is likely to comply with the Building Code of Australia and the *Building Act 2000*.

Building Surveyors

Signed

Joseph W. Martin

Date: _____

23/11/12

Certificate No

BS5003


17/01/2013

AUTHORISED OFFICER

Director of Building Control – date approved 20 June 2007

Building Regulations 2004 – Approved Form No 1

Appendix 3

	
<p>HOBART CITY COUNCIL</p>	
<p><i>Enquiries to: Administrative Section ☎: (03) 6238 2715 Our Ref: 5671014 P/ISS-59/694 MP</i></p>	
<p><i>(Adoptive Approval Document H014-1) 08/24-(d) Building Permit - m.docx</i></p>	
<p align="center">Section 72</p>	

BUILDING PERMIT

To: R Crawford
Architects Designhaus
293 Macquarie Street
HOBART

Owner Agent
Address
Suburb/postcode
7000

Form **18**

Permit Authority details:

From: Hobart City Council
18 Elizabeth Street
HOBART

Phone No: **(03) 6238 2715**
Fax No: **(03) 6224 4344**

Council: Hobart City Council Email address: **hcc@hobartcity.com.au**

Building Surveyor details:

Copy to: Joe Marnic
PO Box 143
North Hobart TAS 7002

Category:
Building Surveyor
6231 4422
6231 9277

Accreditation No: CC 411 N Email address: **jmarnic@trump.net.au**

Details of building work:

Address: 55-59 Murray Street
HOBART

Lot No: **2,1,1,1,1,1,1,1,1,1,2,6,2**
1,1,1,2,1,4
Certificate of
Title No: **60240,53164,65782,
16882,46218,104385,
16202,65054,45426,
32071,65054,45426,
62372,182238,118464,
32671,188142,187113**

Proposed new Myer Building

Type of work: building.

Building class: **3, 6 & 9b**

*[For buildings requiring additional assessment/
consultation/nominations see section(s)]*



Permit details:

All building work is to be carried out in accordance with the *Building Act 2000* the *Building Regulations 2004* and the Building Code of Australia. This Permit is granted subject to the following conditions -

Conditions

1. All building work must be substantially in accordance with the documents and drawings that comprise the Building Application BLD-11-00826-01 including all documents listed in and submitted with the Certificate of Likely Compliance No. BS5003 dated 23 November 2012.
 2. The conditions as specified on Certificate of Likely Compliance No. BS5003 dated 23 November 2012 form part of this permit and the building work must comply with those conditions.
 3. The conditions as specified on the Certificate of Certifiable Work Reference No. SWBA 2012/01000-HQC dated 11 January 2013 form part of this permit and the building work must comply with those conditions.
 4. The owner of the land must comply with the duties of owners specified in Section 12 *Building Act 2000* and reproduced in Attachment A.
 5. Building work must be commenced within 12 months of the date of this permit. If building work is not commenced within 12 months of the date of this permit, this permit lapses.
 6. Building work must be completed within 24 months of the date of this permit unless a different period is agreed between the Applicant and the Permit Authority.
 7. Prior to the start of works, a construction management plan per stage for works in the Rivulet must be submitted to and approved by the Council's Director Infrastructure Services. This plan must address:-
 - (i) Working in a Confined Space;
 - (ii) Working in a flood prone area;
 - (iii) Environmental controls;
 - (iv) Contact with hazardous materials and gases;
 - (v) Emergency evacuations; and
 - (vi) Notification of council officers.
- Once approved the Construction Management Plan must be complied with.

Stages Requiring Notification:

Regulation 58(4)

- | | |
|---|---|
| <input checked="" type="checkbox"/> (a) Covering in foundations | <input checked="" type="checkbox"/> (d) Completion of building work |
| <input checked="" type="checkbox"/> (b) Pouring of structural concrete | <input checked="" type="checkbox"/> (e) Electrical Work |
| <input checked="" type="checkbox"/> (c) Cladding or building-in the structural framework. | <input checked="" type="checkbox"/> (f) Mechanical Work |

This Permit is granted on the basis of an alternative solution under the BCA.

Authorised Officer:

Name

Signed

Date

Title:

Ross Willis

Permit No:

BLD-11-00826-01

MANAGER COMPLIANCE AND PERMITS

Permit No:

BLD-11-00826-01



ATTACHMENT A

BUILDING ACT 2000

PART 3 – DUTIES OF PERSONS

Duties of Owners:

12. (1) The owner of a building who authorises building work in respect of the building, so far as is reasonably practicable, is to ensure that –
 - (a) any person engaged to carry out the building work and associated building work is an accredited building practitioner if so required under this Act; and
 - (b) correct information is provided to any person engaged to carry out the building work and associated building work; and
 - (c) the building or land on which the building work is to be carried out is clearly identifiable; and
 - (d) provisions for the protection of adjoining property are carried out in accordance with this Act; and
 - (e) the building is not occupied until an occupancy permit has been issued; and
 - (f) sufficient information is supplied to the next owner for that owner to maintain the building in accordance with this Act.
- (2) An owner who engages a person to carry out any plumbing work is to ensure, so far as is reasonably practicable, that the person is a plumber if so required under the *Plumbers and Gas-fitters Registration Act 1951*.
- (3) An owner who engages a person to design plumbing work is to ensure, so far as is reasonably practicable, that the person is –
 - (a) an accredited building practitioner; or
 - (b) a plumber.
- (4) The owner of a building, so far as is reasonably practicable, is to ensure that the building is used and maintained for the intended purpose in accordance with this Act.



Appendix 4

CERTIFICATE OF LIKELY COMPLIANCE (Revised Superstructure of Hotel – Liverpool St Section)

Section 67

Form **11**

To:	Kalis Properties	Owner
	PO Box 251	Address
	MOONAH TAS	7009 Suburb/postcode

Applicant / Owner/ Owner builder details:	
<i>Note: Only an owner or agent of the owner may make an application</i>	
Owner:	Kalis Properties
Address:	PO Box 251
	MOONAH TAS 7009
Contact person:	Alexia Kalis
Phone No:	0428 583 132
Fax No:	
Owner builder:	Yes: <input type="checkbox"/> (X if applicable) Registration number:
Names:	
Contact address:	
	7009
Contact person:	
Phone No:	
Fax No:	
Agent:	
Address:	
Contact person:	
Phone No:	
Fax No:	
<i>Note: Agents to be authorised in writing by the owner</i>	
Email address:	

Building Surveyor details:	
From:	Barry Neilsen
Address:	GPO Box 94
	Hobart TAS 7001
Accreditation No:	CC460 J
Category:	BS
Phone No:	6210 1476
Fax No:	6223 7017
Email address:	bneilsen@pittsh.com.au

Details of building work:	
Address:	55-59 Murray Street
	Hobart TAS 7000
Type of work:	New Building (new building/alteration/addition/repair/demolition/etc)
Use of building:	Hotel/Retail (main use) Building class: Mixed
Lot No:	-
Certificate of title No:	-

Accredited Building Practitioner details:	
Architect/Designer	Richard Crawford
Business name:	Architects Designhaus
Business address:	293 Macquarie St
	Hobart TAS 7000
Accreditation No:	CC988 C
Category:	A
Phone No:	6234 5533
Fax No:	
Email address:	richard@architectsdesignhaus.com
Engineer - Designer:	Owen de la Motte
Business name:	Gandy & Roberts Pty Ltd
Business address:	159 Davey Street
	Hobart TAS 7000
Accreditation No:	CC5797 K
Category:	E
Phone No:	6223 8877
Fax No:	
Email address:	mail@gandyandroberts.com.au

Services - Designer:	Nicholas Stolp	Category:	E
Business name:	Johnstone McGee and Gandy		
Business address:	117 Harrington Street	Phone No:	6231 2555
	Hobart TAS 7000	Fax No:	6231 1535
Accreditation No:	CC2335 J	Email address:	infohbt@jmg.net.au
Builder:	John Hutchinson	Category:	B
Business name:	Hutchinson Builders		
Business address:	235 Murray Street	Phone No:	6235 9900
	Hobart TAS 7000	Fax No:	6234 8264
Accreditation No:	CC5221 C	Email address:	iconcentral@hutchinsonbuilders.com.au
Certificate details:			

In considering this application the following documents and matters were taken into account (s62 & s66) -

	Details:	Prepared by:
Required documents: (s62)	Drawings: 10.0062-S131D, S133D, S145D, S146B, S202D, S204D, S210B, S223C, S227D, S228D, S229D, S435B, S621A (Steelwork Details - 21) S621A (Steelwork Details - 22), S622B	Owen de la Motte
Required certificates: (s62)	Certificate of the Responsible Designer, Form 35A	Owen de la Motte
Required Reports: (s63)		
Food Premises Verification Analysis:		
Certificates provided:		
Notifications by PCA: (s64)		
If historical or farm building:		
Relevant permit or consent requirements under other Acts:		

This certificate is granted subject to the following conditions -

Conditions:	Origin:
(To be read in conjunction with Certificate of Likely Compliance dated 23/11/12 issued by Joe Mamic and ensuing Building Permit No BLD-11-00826-01 dated 30/11/12)	
1. All structural steelwork to be provided with fire protection cladding to achieve an FRL of 120/120/120. Details of the proposed system to be submitted for approval.	Building Surveyor
2. Re-design of the water supply for the fire services is to be undertaken and submitted for approval - due to the increased height of the building.	TFS Chief Officer
3. All external cladding materials to be non-combustible.	TFS Chief Officer
4. The following conditions additional to those contained on the original Certificate of Likely Compliance dated 23/11/12 and which were the basis on which the transfer of Building Surveyor was accepted:-	Building Surveyor
4.1 Certification/verification is required prior to occupancy to verify compliance with the approved plans and Building Code of Australia for the following building features: <ul style="list-style-type: none"> a. Glazing selection and installation (AS 2047 & Part J, BCA 2012) b. Portable Fire Extinguishers & Fire Blankets (AS 2444) c. Interior Lighting (AS/NZS 1680) d. Emergency lighting and exit signage (AS 2293.1) 	

4.13 The builder is to identify that all access panels/doors to fire isolated shafts are compliant to Part C3.13 and that fire panels are tagged to identify fire resistance level for future maintenance	
<p>4.14 Additional exits may be required or alternatively the following identified exit travel paths must be considered in the fire engineered alternative solution.</p> <p>Stage 1</p> <ul style="list-style-type: none"> a. Basement reserve area is more than 20m to point of change b. Level 1 from Grid Line 7 is more than 20m to point of change c. Level 2 from Grid Line 7 is more than 20m to point of change d. Level 3 from Grid Line 7 is more than 20m to point of change e. Level 10 store and plant room is more than 20 metres to single exit f. Distance between exits is more than 45m on apartment floors <p>Stage 2</p> <ul style="list-style-type: none"> a. Ground Floor security grill in required path of travel or single exit is more than 20m from retail 03. b. Level 1 security grill in required path of travel c. Level 5 exit from rooms grid line 2 – 3 more than 6m to exit 	
4.15 The maximum population numbers per floor differ from the fire engineer and condition of Certificate of Likely Compliance. These numbers are to be re-affirmed and agreed to by the building surveyor.	
4.16 As the fire isolated stairs service an effective height of >25m re-entry provisions to the whole stairway must comply with D2.22, BCA 2012.	
4.17 In reference to item 12, McKenzie Group Access report, the building surveyor is not agreeable to the use of Part D3.4 to exempt access to storage rooms or reserve areas.	
4.18 Tactile indicators are to be detailed and referenced to the building surveyor for confirmation of locations and luminance contrast.	
4.19 All apartment bathrooms must have floor waste. A typical section demonstrating retention of fire and sound rating is to be provided to the building surveyor for review.	
4.20 Further information in relation to methods proposed for sound reduction between apartment rooms and common areas is to be confirmed with the building surveyor.	
4.21 The kitchen and kitchen exhaust is not part of this approval. Details are to be submitted for referral to the environmental Officer, Hobart City Council and approved by the building surveyor prior to commencement of this area.	
4.22 Walk in refrigeration chambers are to comply with the safety features of G1.2, BCA 2012.	
4.23 A staff dining facility must be provided for stage 1 in accordance with Table H101.13, BCA 2012.	
<p>4.24 In accordance with the Chief Officers report the following shall be altered or discussed further with the Chief Officer.</p> <ul style="list-style-type: none"> a. The hose reel adjacent to pillar grid3Hon levels 2 & 3 must be relocated to within 4m of the fire stair. b. Both the mimic panel and sub-EWIS panel must function for the entire building not just Myer as noted on the documents. c. Prior to the issue of a staged occupancy an approval in principle evacuation management plan must be confirmed by the Chief Officer. 	
<p>4.25 The building surveyor is prepared to not require a hot smoke test subject to the following:</p> <ul style="list-style-type: none"> a. There is no objection from the Fire Safety Engineer or Chief Officer b. Pathfinder evacuation modelling and CFD modelling is completed to confirm the assumptions made in the Fire Protection Report. 	

The following mandatory notification stages apply to this building work –
(X applicable one.)

Covering in the foundations:

☐

Other: (Specify)

☐

Pouring structural concrete:

☒☐

Cladding or building-in structural frame:

☒☐

Completing the building work:

☒☐

(X if applicable.)

Building work referred to in this certificate has been assessed as an alternative solution under the BCA

☒

Details of alternative solution:

Fire Protection Report by Ross Murphy of Castellan Consulting dated 15th November 2012 and all subsequent amendments.

I certify that after assessment of the application submitted to me, I am satisfied that the building work to which this certificate applies is likely to comply with the Building Code of Australia and the *Building Act 2000*.

Building Surveyor:


Signed: _____

Date:

14/07/15

Certificate No.

HP20150329/0



Enquiries to: Compliance and Permits
☎: (03) 6238 2715
✉: hcc@hobartcity.com.au
Our Ref: 5671014 P/55-59/694

RW:SD
(\cooper\approvals\documents\blde-11-00826-01 amended building permit - email.doc)

HOBART
CITY COUNCIL

AMENDED BUILDING PERMIT

Section 72

To:	Architects Designhaus Attn: Richard Crawford 293 Macquarie Street HOBART	Owner/Agent Address Suburb/postcode	Form 18
	7000		

Permit Authority details:	
From:	Hobart City Council 16 Elizabeth Street HOBART
	TAS 7000
	Phone No: (03) 6238 2711 Fax No: (03) 6234 7109
Council:	Hobart City Council
	Email address: hcc@hobartcity.com.au

Building Surveyor details:	
Copy to:	Barry Neilson GPO Box 94 Hobart TAS 7001
	Category: Building Surveyor Phone No: (03) 6210 1476 Fax No: (03) 6223 7017
Accreditation No:	CC 460 J
	Email address: bneilson@pittsh.com.au

Details of building work:	
Address:	55-59 Murray Street (Myer) HOBART
	7000
	Lot No: - Certificate of Title No: -
Type of work:	New Building (new building/alteration/addition/repair/demolition/removal/re-erection/other)
Use of building:	Hotel/Retail (main use)
	Building class: Mixed

Permit details:

All building work is to be carried out in accordance with the *Building Act 2000* the *Building Regulations 2014* and the Building Code of Australia. This Permit is granted subject to the following conditions –

Conditions

Conditions	Origin
1. All building work must be substantially in accordance with the documents and drawings that comprise the Amended Building Application BLD-11-00826-01 including all documents listed in and submitted with the Certificate of Likely Compliance No. HP20150329/0 dated 14 July 2015.	Building Act 2000, Building Regulations 2014 and Building Code of Australia
2. The conditions as specified on Certificate of Likely Compliance No. HP20150329/0 dated 14 July 2015 form part of this permit and the building work must comply with those conditions.	Building Act 2000, Building Regulations 2014 and Building Code of Australia
3. The owner of the land must comply with the duties of owners specified in Section 12 <i>Building Act 2000</i> and reproduced in Attachment A.	Building Act 2000, Building Regulations 2014 and Building Code of Australia

ADVICE

1. Building work must be commenced within 12 months of the date of the original permit **30 November 2012**. If building work is not commenced within 12 months of the date of the original permit, this permit lapses.
2. Building work must be completed within 24 months of the date of the original permit **30 November 2012** unless a different period is agreed between the Applicant and the Permit Authority.

This Permit is granted on the basis of an alternative solution under the BCA.

Authorised Officer:	Ross Willis	Signed		Date	23/07/2015
Title:	MANAGER COMPLIANCE AND PERMITS	Permit No:	BLD-11-00826-01		

Appendix 5

HOBART COUNCIL CENTRE, 16 ELIZABETH STREET, GPO BOX 303 HOBART TASMANIA 7001
TELEPHONE: (03) 6238 2711 TTY: (03) 6238 2187 FAX: (03) 6234 7109
E-Mail: hcc@hobartcity.com.au
ABN 59 055 543 428



Director of Building Control - date approved: 1 July 2014

Building Act 2000 - Approved Form No 18

HOBART COUNCIL CENTRE, 16 ELIZABETH STREET, GPO BOX 303 HOBART TASMANIA 7001
TELEPHONE: (03) 6238 2711 TTY: (03) 6238 2187 FAX: (03) 6234 7109
E-Mail: hcc@hobartcity.com.au
ABN 59 055 543 428



Appendix 6



Appendix 7

From: Owen de la Motte <owen@gandyandroberts.com.au>
To: Alexia Kalls
Cc: Adam Richards; Neil Hay (neil@compassib.com.au)
Subject: RE: Photos for Department of Justice
Sent: Wed 31/08/2016 1:59 PM

Hi Alexia - sorry I missed that request.

The very first underpinning to the rivulet commenced approximately 1.06.2016 and all underpinning along this building elevation was completed by 4.07.16. The photos are all dated so this will give building control a good record of what was constructed when.

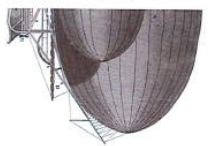
Thanks,
Owen

Owen de la Motte BE(Hons) MIEAust CPEng
Director

GANDY AND ROBERTS
CONSULTING ENGINEERS

ph 03 6223 8877
fx 03 6223 7183
159 Davey St Hobart TAS 7000
owen@gandyandroberts.com.au
www.gandyandroberts.com.au

Appendix 8



ENGINEERS ADVICE

TO	Hutchinson Builders	DATE	2/06/2016
FROM	Owen de la Motte	TIME	12.30pm
PROJECT	Hobart Central	PROJECT N°	10.0062
SUBJECT	Underpinning Base x 4	REF N°	

☒ SITE INSPECTION REPORT
 ☐ RESPONSE TO RFI

☐ ENGINEERS DIRECTION

GANDY & ROBERTS
 159 DAVEY ST
 HOBART TASMANIA
 AUSTRALIA 7000
 CONSULTING ENGINEERS

Inspected base to underpins in the Southern corner of the site (Murray St / C&F corner) and approved for blinding subject to final cleanout and displacement of ponded water.



SIGNED: 

SHOULD THIS ADVICE ENTAIL A COST VARIATION THE CONTRACTOR SHALL INFORM THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK

mail@gandyroberts.com.au
www.gandyroberts.com.au
 ph 03 5223 8877
 fx 03 5223 7183
A&N 29 037 268 532

PROJECT: Icon Complex - SPB
 INSPECTION OF: UNDERPINNING
 DATE: 2/06/16
 TIME: 2.30PM

PROJECT NO: 10.0062
 DATE: 2/06/16
 TIME: 2.30PM

CONCRETE WORK - GENERAL

The following items have been inspected for conformance with the construction drawings:

- FOOTINGS**
- ☒ Foundation material
 - ☐ Size & arrangement
 - ☐ Reinforcement
 - ☐ Laps
 - ☐ Covers

- SLABS ON GRADE**
- ☐ Foundation material
 - ☐ Size & arrangement or stiffening beams
 - ☐ Size & arrangement of edge beams
 - ☐ Reinforcement
 - ☐ Laps
 - ☐ Covers
 - ☐ Re-entrant corners
 - ☐ Vapour barrier
 - ☐ Soddows, blockouts
 - ☐ Edge rebate, thresholds

- RETAINING WALLS**
- ☐ Size & arrangement
 - ☐ Reinforcement
 - ☐ Laps
 - ☐ Covers
 - ☐ Retained height
 - ☐ Tanking
 - ☐ Drainage

- COLUMNS & WALLS**
- ☐ Size & arrangement
 - ☐ Reinforcement
 - ☐ Covers
 - ☐ Wall joints
 - ☐ Waterproofing

Prior to pouring concrete the contractor shall:

- ☒ Cleanout footing excavations and/or formwork
- ☐ Ensure correct covers are maintained prior to and during pour
- ☐ Undertake any additional or rectification work detailed in the attached Engineers Advice
- ☐ This work will not require reinspection and/or photographic record

Disclaimers/Notes

- This inspection has been carried out to confirm general compliance at the time of inspection with the construction drawings and specifications only. It does not relieve the contractor of any of their statutory or contractual responsibilities.
- The contractor is to maintain the inspected work in its approved state prior to and during the concrete pour (including any rectification work).
- The contractor is to seek authorisation to proceed beyond a statutory hold point from the Building Surveyor, and to ensure a Building Permit is in place prior to commencing construction.

Appendix 9



7 June 2016

John Hutchinson
Hutchinson Builders
235 Murray St
Hobart TAS 7000

Dear John

Icon Development
55-59 Murray Street, HOBART (Building Permit # BLD-11-00826-01)
Consent to Proceed

I refer to the underpinning base x4 inspection carried out by Gandy and Roberts on 02/06/2016 and advise that consent to proceed has been granted subject to the conditions outlined in the engineer's inspection record dated 02/06/2016.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Roland Wierenga', written over a light blue horizontal line.

[for]
Roland Wierenga
BUILDING SURVEYOR
Hobart Office

cc Alexia Kalis
PO Box 251
MOONAH TAS 7009

Appendix 10

NOTICE TO ADJOINING OWNER (PROPOSED BUILDING AND PROTECTION WORK) Form **6** Section 121

To: Adjoining owner

Name

Hobart City Council

Address

under 51 Murray Street and Arnolds Lane

Suburb

Hobart TAS

Postcode

7000

From: Owner

Owners

E Kalls Properties Pty Ltd

Contact person

Alexia Kalis

Address

PO Box 404

Suburb

Hobart

Postcode

7001

Email Address

a.kalis@kallsgroup.com.au

Phone Number

036231 3993

Fax Number

NA

Copy To:

Accredited Building Surveyor

Barry Neilsen

Business Name

Pitt & Sherry

Business Address

199 Macquarie Street

Suburb

Hobart

Postcode

7000

Email Address

bneilsen@pittsh.com.au

Phone Number

62101400

Fax Number

NA

Accreditation Number

CC460J

Address of adjoining property

Address

51 Murray Street

Suburb

Hobart

Postcode

7000

Lot Number

2 & 1

Certificate of title number

167165-2 154183-1

Address of proposed work

Address

54-59 Murray Street

Suburb

Hobart

Postcode

7000

Lot Number

2 & 1 & 1 & 1

Certificate of title number

32672/2 32672/1 158238/1 158142

Details of proposed protection work

This is to notify you in accordance with section 121 of the *Building Act 2000* of proposed building work and proposed protection work. The following details are provided of proposed building work to be undertaken adjoining your property.

Details of Proposed building work

Construction of a 10 storey + basement retail building

The following details are provided of proposed protection work to be undertaken to protect your property
Details of Nature and particulars of the proposed protection work

Underpinning of existing sandstone & masonry walls to the NW side of the Hobart Rivulet which afford support to the Cat & Fiddle boundary walls and to Arnolds Lane

Proposed program for undertaking the protection work

The project has commenced and will be completed in November 2018

I draw your attention to section 124 of the Building Act 2000, which states

- (1) An adjoining owner, within 21 days after receiving a notice of proposed building work and proposed protection work, is to notify the owner that he or she
 - (a) agrees, or disagrees with, the details of the proposed protection work; or
 - (b) requests changes to be made(if you agree you may sign the agreement section provided at the bottom of this page and return a copy of this notice to the owner)
- (2) An adjoining owner who fails to respond within 21 days is taken to have agreed to the proposed protection work

I declare that I will comply with my duties under Part 9 Division 2, of the Building Act 2000

Owner Name

Manuel Kalis

Owner Signed

Manuel Kalis

Date 21-6-2016

Agreement of the adjoining owner for proposed protection work

- (1) I am the owner of the property adjoining the land where the building work is proposed that may affect my land or buildings
- (2) I have read this notice and agree with the proposed protection work that will be carried out by the person who sent the notice

Adjoining Owner Name

NICK TEATH

Adjoining Owner Signed

Nick Teath

21-6-2016

Date

Appendix I I

NOTICE TO ADJOINING OWNER (PROPOSED BUILDING AND PROTECTION WORK) Form **6** Section 121

To: Adjoining owner

Name

Silverleaf Investments Pty Ltd

Address

51 Murray Street

Suburb

Hobart TAS

Postcode

7000

From: Owner

Owners

E Kalis Properties Pty Ltd

Contact person

Alexia Kalis

Address

PO Box 404

Suburb

Hobart

Postcode

7001

Email Address

a.kalis@kalisgroup.com.au

Phone Number

0362313993

Fax Number

NA

Copy To:

Accredited Building Surveyor

Barry Neilsen

Business Name

Pitt & Sherry

Business Address

199 Macquarie Street

Suburb

Hobart

Postcode

7000

Email Address

bneilsen@pittsh.com.au

Phone Number

62101400

Fax Number

NA

Accreditation Number

CC460J

Address of adjoining property

Address

51 Murray Street

Suburb

Hobart

Postcode

7000

Lot Number

1

Certificate of title number

167165/1

Address of proposed work

Address

54-59 Murray Street

Suburb

Hobart

Postcode

7000

Lot Number

2 & 1 & 1 & 1

Certificate of title number

32672/2 32672/1 158238/1 158142

Details of proposed protection work

This is to notify you in accordance with section 121 of the *Building Act 2000* of proposed building work and proposed protection work. The following details are provided of proposed building work to be undertaken adjoining your property.

Details of Proposed building work

Construction of a 10 storey + basement retail building

The following details are provided of proposed protection work to be undertaken to protect your property
Details of Nature and particulars of the proposed protection work

Underpinning of existing sandstone & masonry walls to the NW side of the Hobart Rivulet which afford support to the Cat & Fiddle boundary walls

Proposed program for undertaking the protection work

The project has commenced and will be completed in November 2018

I draw your attention to section 124 of the *Building Act 2000*, which states

- (1) An adjoining owner, within 21 days after receiving a notice of proposed building work and proposed protection work, is to notify the owner that he or she
- (a) agrees, or disagrees with, the details of the proposed protection work; or
 - (b) requests changes to be made
- (if you agree you may sign the agreement section provided at the bottom of this page and return a copy of this notice to the owner)
- (2) An adjoining owner who fails to respond within 21 days is taken to have agreed to the proposed protection work

I declare that I will comply with my duties under Part 9 Division 2, of the *Building Act 2000*

Owner Name

Kimmannel Kalis

Owner Signed



Date

21-6-2016

Agreement of the adjoining owner for proposed protection work

- (1) I am the owner of the property adjoining the land where the building work is proposed that may affect my land or buildings
- (2) I have read this notice and agree with the proposed protection work that will be carried out by the person who sent the notice

Adjoining Owner Name

Adjoining Owner Signed

Date

Barry Neilsen

From: Richard Crawford [richard@crawfordshurman.com.au]
Sent: Thursday, 28 July 2016 3:44 PM
To: Barry Neilsen
Subject: FW: Cat & Fiddle - Floor monitoring survey

FYI please find email from Silverleaf regards issues surrounding Form 6

Kind Regards,

Richard Crawford FRAIA
Director
0418121431



architects
designhaus

293 Macquarie Street Hobart
Tasmania Australia
GPO Box 544 Hobart 7001
Phone: +61 3 6234 5533
Fax: +61 3 6223 2856
Web: www.architectsdesignhaus.com
Email: info@architectsdesignhaus.com



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All of the opinions expressed and/or advice given in this message are those of the individual sender, unless they are specifically stated to be those of Crawford Pados Shurman | Architects Designhaus.

From: Gerard O'Brien [mailto:gerard@westzone.com.au]
Sent: Thursday, 14 July 2016 5:05 PM
To: Rod Kershaw; Anthony.Collins@pda.com.au
Cc: Craig Bowman; Owen de la Motte; richard@architectsdesignhaus.com
Subject: RE: Cat & Fiddle - Floor monitoring survey

Hi Rod ,Anthony

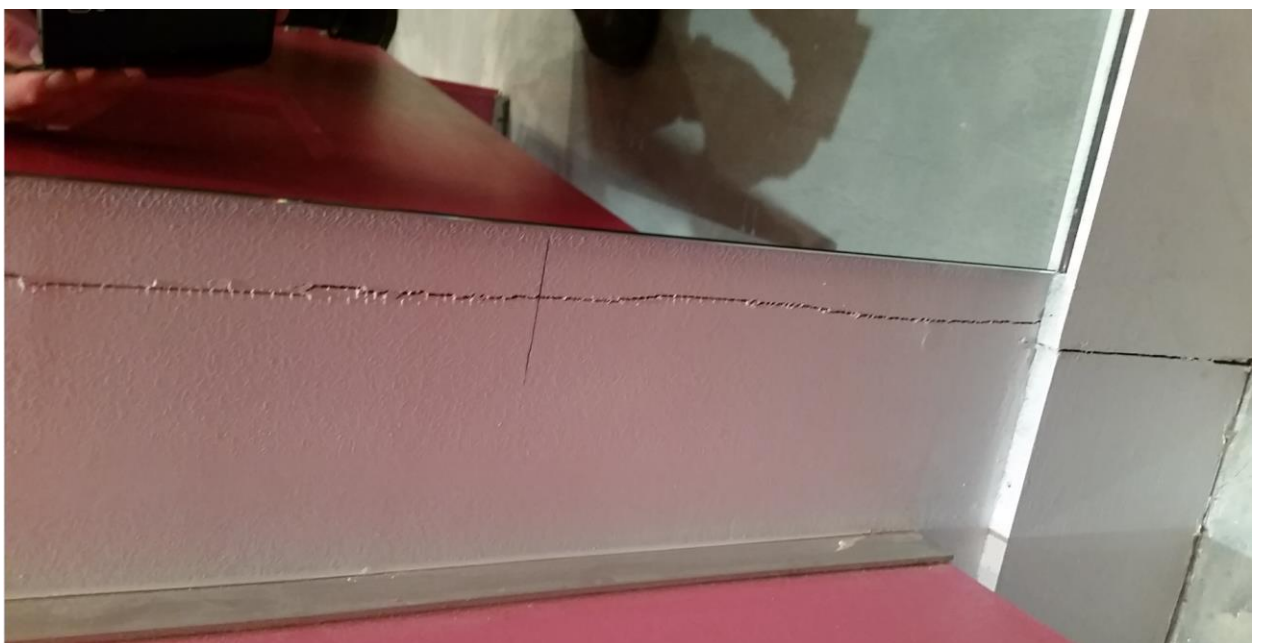
I trust Owen's judgement completely and feel that we should just observe and let him complete the task at hand. I see little or no value in us all having surveyors checking each other. Owen today has agreed to continue to update us weekly and immediately re grout the cracks in Dotti and Portman and fix the doors that are jamming . He also agreed that on completion of the works they will repair the cracks and any other damage properly. Owen with your clients permission can you please confirm the above and we will then step back and allow you to finish the works . Can you also please confirm the screw piling methodology being used as we do not want you to be vibrating next to these heritage buildings

Regards
Gerard

Appendix I2



Appendix 13



Appendix 14



Appendix I5

From: Jack Sutton [<mailto:JSutton@hutchinsonbuilders.com.au>]
Sent: Thursday, 26 May 2016 3:10 PM
To: flanaganj@hobartcity.com.au
Cc: richard@architectsdesignhaus.com; Celine Dunne; Steven Ninnies
Subject: 24033 - Rivulet Underpinning

Jennifer,

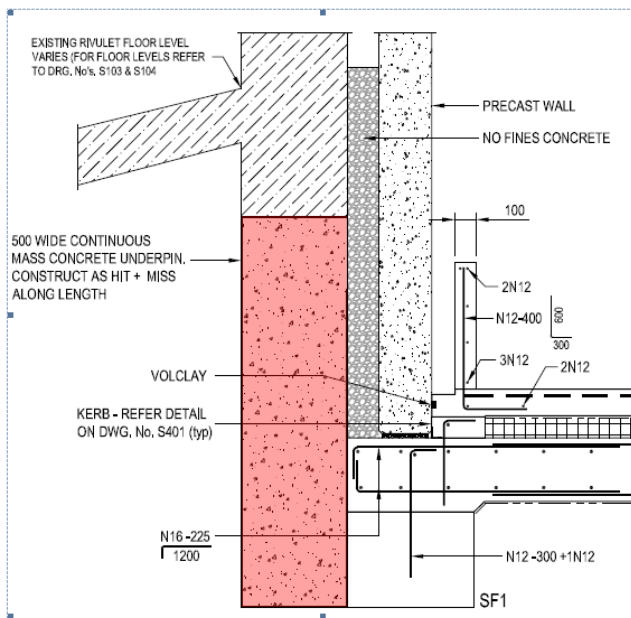
As you would be aware Hutchinson Builders are currently underway with the demolition works to the existing Myer at 55 Murray Street.

Due to the design of our basement and the rivulet neighbouring our site we are required to underpin the existing rivulet with a mass concrete footing. This works will be identical to the works completed during the first stage of our works at 108 Liverpool Street for the new Myer store.

As the rivulet is council owned infrastructure I am writing to notify you of the works being completed so you are aware of our scope.

Please see the below section showing the mass concrete footing (highlighted red) that I am talking about. I have also attached an engineer's direction which confirms the methodology and sequencing.

If you would like to discuss this further or would like a site visit to inspect the works please don't hesitate to call 0439 107 812.



Regards,

Jack Sutton
Contracts Administrator

HUTCHINSON BUILDERS | Established 1912

T 03 6235 9900 | M 0439 107 812
E jsutton@hutchinsonbuilders.com.au

Appendix I6



ENGINEERS ADVICE

TO	Hutchinson Builders	DATE	24/05/2016
FROM	Owen de la Motte	TIME	
PROJECT	Hobart Central Temporary Works	PROJECT N ^o	13.0058
SUBJECT	Underpinning Details and Construction Sequencing - SPB	REF N ^o	ED-TW107

☐ SITE INSPECTION REPORT ☒ RESPONSE TO RFI ☒ ENGINEERS DIRECTION

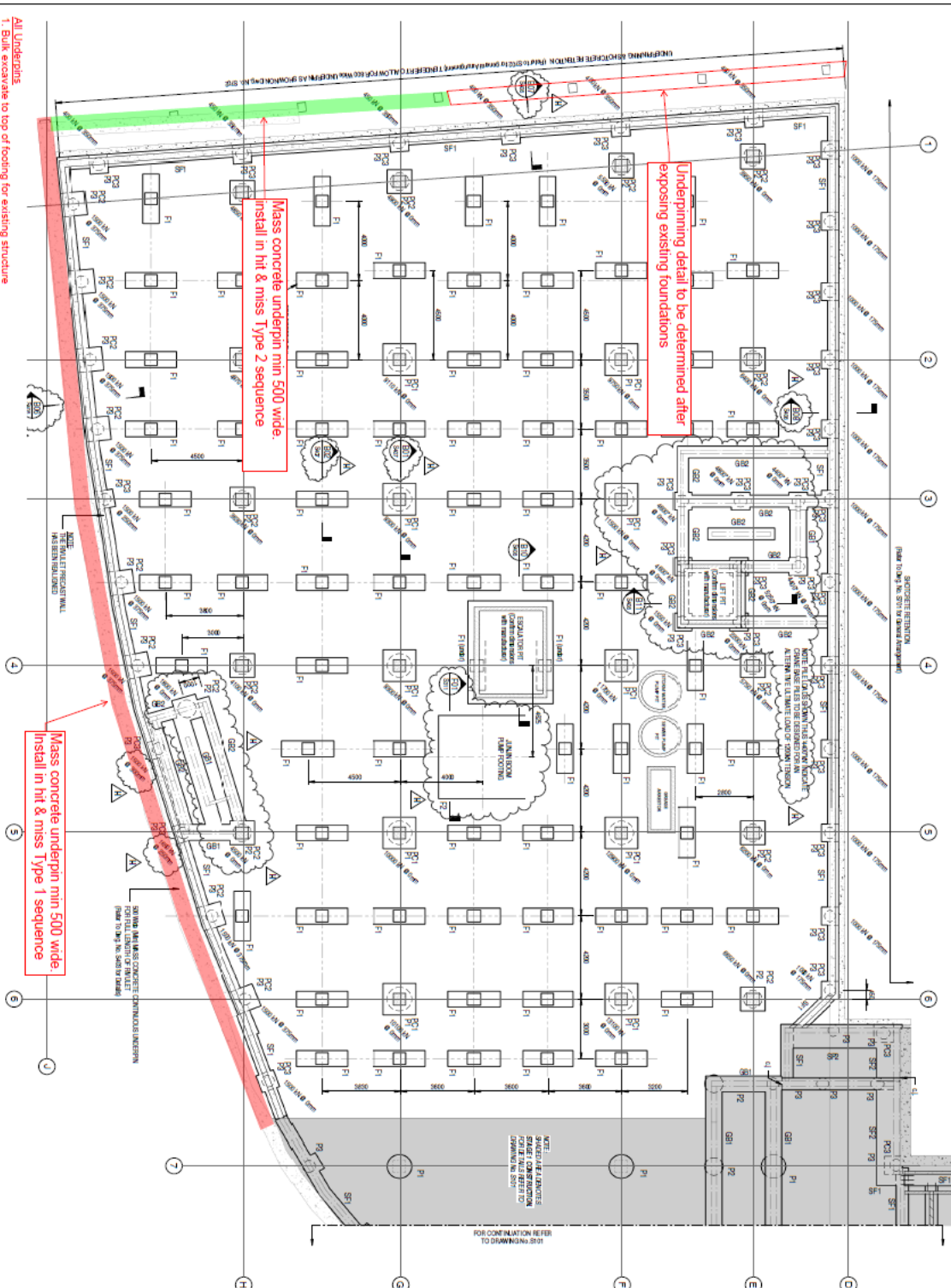
**GANDY AND
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159 DAVEY ST
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**CONSULTING
ENGINEERS**

Underpinning construction details to the rivulet and part of Murray St are as per attached Gandy and Roberts' sketch 13.0058 SK01 (24.05.16).

Please advise as the remaining footings are exposed to enable inspection and confirmation of underpinning construction sequence.

SIGNED:

SHOULD THIS ADVICE ENTAIL A COST VARIATION THE CONTRACTOR SHALL INFORM THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK



- All Underpins**
1. Bulk excavate to top of footing for existing structure
 2. Barrier from top of footing at 1:3 to bulk excavation level
 3. Confirm on-site with geotechnical engineer
 4. Construct underpinning as per specific sequence
 5. Install strip drain to the rear + E004 weepholes at 1500 c/s vertically and horizontally to all underpins
- Type 1 Installation Sequence**
1. Excavate 1200long x 500w x 1500max high underpin - leave 2400mm between excavations
 2. Form and pour underpin + dry pack to underside of existing footing
 3. Repeat step 1-2 for intermediate underpins
 4. Repeat 1-3 for second stage underpin at lower R.L. where required
- Type 2 Installation Sequence**
1. Excavate 1200long x 500w x 1500max high underpin - leave 2400mm between excavations
 2. Form and pour underpin + dry pack to underside of existing footing
 3. Repeat step 1-2 for intermediate underpins
 4. Repeat 1-3 for second stage underpin at lower R.L. where required

SPB Underpinning Construction Detail
13.0058 SK01 24/5/16

FOOTING SCHEDULE			
Mark	Length	Breadth	Depth
SF1	-	800	500
SF2	-	1200	450
G81	-	800	800
G82	-	600	600
G82a	-	1500	600
G83	-	600	900
G84	-	450	700
G85	-	900	600
G86	-	1200	900
G87	-	1200	700
G88	-	1000	500
G89	-	1200	900
G810	-	1200	600
G811	-	1200	1200
PC1	1800	1600	800
PC2	1200	1200	800
PC3	900	900	600
F1	2000	800	2400
F2	4000	400	1200

PILE SCHEDULE	
Mark	Min. Clearances
P1	Refer to VIBROPILE Documents
P2	Refer to VIBROPILE Documents
P3	Refer to VIBROPILE Documents

- LEGEND**
- WALLS
 - FRESH CONCRETE
 - EXISTING CONCRETE
 - ALUMINUM - FINISHED
 - ALUMINUM - UNFINISHED
 - BRICKWORK
- NOTES**
- 1. FOR FOUNDATION DETAILS FOR FOOTINGS REFER TO SPECIFICATION.
 - 2. FOR FOUNDATION DETAILS FOR PILES REFER TO SPECIFICATION.
 - 3. DUE TO THE PRESENCE OF EXISTING FOUNDATIONS, ALL NEW FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 4. BRICKWORK SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 5. FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 6. FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 7. FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 8. FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 9. FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.
 - 10. FOUNDATIONS SHALL BE CONSTRUCTED TO THE EXISTING FOUNDATION LEVEL.

1	2	3	4	5	6	7	8	9	10	11	12
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