

Audit Outcome Report: Building Designers (Limited) Audit 2022

PROACTIVE COMPLIANCE TEAM

Audit Consumer, Building and Occupational Services (CBOS)

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Proactive Compliance Team Summary Report

Summary

- As part of its consumer protection role, Consumer, Building and Occupational Services (CBOS) monitors the performance of various occupations across the building industry to encourage compliance with relevant Acts, Regulations, Codes of Practice, Standards and Determinations.
- The Director has the power under section 22 of the *Building Act 2016* (the Act) to arrange for an audit to be carried out in respect of the work of any person or body specified in section 16(g) of the Act, which includes building designers.
- Schedule 1 of the Director's Specified List Determination provides the detail that must be contained on class 1 drawings for permit building work and notifiable building work. Class 1 buildings include single detached dwellings, and buildings which share a common wall such as villa units, townhouses, and terrace houses.
- On 11 November 2022, notices under section 22 of the Act were issued to designers (Limited), which required them to provide the specific information and data required by Schedule 1 of the Director's Specified List Determination.
- A designer with a 'Limited' licence class means a practitioner who prepares designs and building documentation in accordance with the Act and the National Construction Code (NCC). 'Limited' is sub-class defined by the Occupational Licensing (Building Services Work) Determination. CBOS may also place conditions on designers. For example, they may be limited to designing only a specific class of building due to their qualifications and experience.
- The information and data collected from designers comprised copies of their "Certificate of the Responsible Designer" (Form 35), design drawings for up to 10 addresses (Class 1 buildings only), in addition to completing a compliance self-assessment. A Form 35 certificate is a statement by a designer that their design and specifications are likely to comply with the Act and NCC.
- An Excel spreadsheet (Annexure 1) pro-forma self-audit tool was provided to each designer to assist them in providing comparable data to be analysed by CBOS. This document was

developed by CBOS to assist designers with their response timeframes, as well as assist in the collation of data received.

- The audit identified 799 instances of non-compliance with the Act, NCC and/or Director's Determination. A breakdown of these figures is available in Annexure 2.

Regulatory Background

- CBOS is an output of the Department of Justice, which has functions and powers under a suite of legislation. CBOS generally undertakes monitoring through a number of compliance activities including onsite inspections and remote audits.
- The Executive Director CBOS holds a number of statutory appointments including the Director of Building Control (the Director) and the Administrator of Occupational Licensing (the Administrator). The Administrator oversees the licensing of building services providers, plumbing, gas-fitting and electrical practitioners and contractors under the *Occupational Licensing Act 2005*.
- The *Occupational Licensing Act 2005* defines "building services provider" as someone who holds a relevant licence under that Act.
- A 'designer' is defined as "the person performing design work under" the Act. Section 43 of the Act provides that:
 - (1) *A person undertaking design work under this Act is to ensure that –*
 - (a) *he or she acts only within the area of his or her competence; and*
 - (b) *so far as is reasonably practicable –*
 - (i) *the design of the building work or plumbing work is in accordance with the standards and requirements of this Act; and*
 - (ii) *the documentation relating to the design includes sufficient information for the assessment of the work in accordance with this Act; and*
 - (iii) *the documentation relating to the design is sufficiently detailed for a licensed builder or a licensed plumber to perform the work in accordance with the documents and this Act.*
 - (2) *A person must not accept an engagement as a designer in respect of work under this Act if that work requires the person to hold a licence under the Occupational Licensing Act 2005 and the person does not hold such a licence.*
- Building designers in Tasmania are obligated to comply with the requirements of section 44 of the Act by ensuring designs and performance solutions are compliant with the NCC. Section 44 of the Act ('Minimum standards of design work'), requires inter alia:

- (1) *A person undertaking design work under this Act is responsible for ensuring that the plans and specifications, or the advice, comprising the design work are sufficient to result in work that is likely to comply with the National Construction Code, if the work is properly completed in accordance with those plans and specifications or that advice...*
- The Director of Building Control made a 'Director's Determination – Director's Specified List' in accordance with regulation 8 of the Building Regulations 2016 (and section 20(1)(e) of the Act).
 - Schedule 1 of the Director's Specified List sets out the minimum requirements for the design documentation to be submitted by a designer to a building surveyor, in order to obtain a certificate of likely compliance. Designers are obligated to follow the determinations made by the Director of Building Control.
 - When conducting an audit under section 22(2) of the Act, the Director of Building Control may by written notice seek the supply of records and documents. Using this delegated authority, the PACT issued a section 22 notice to 'Building Designers – Limited', requiring information relating to the design plans. This data was then assessed to identify the level of compliance with designers' obligations under the Act, NCC and Director's Determinations.
 - By supplying the required detail in the building plans, designers play an integral role in the building process by ensuring a building meets the minimum requirements of the Act and NCC. The Director's Specified List ensures the designer incorporates specific information for both the building surveyor and builder.
 - CBOS regularly receives enquiries from consumers regarding allegations of defective building work. While most cases relate to the builder for alleged defective building work, CBOS investigations have identified instances where designers have failed to ensure building plans included sufficient detail to ensure the builder complied with the NCC.
 - CBOS has previously issued cautions and infringements to designers for failing to comply with their obligations. Some of these items have included poor dimensions, insufficient or no detail in the drawings and insufficient boundary dimension detail.

Audit Particulars

- There are over 450 licensed building service providers with a building design classification. Having regard for CBOS resources at the time this audit was conducted, CBOS selected

building designers with a licence class of 'Limited' to audit. There were one hundred and twenty-one (121) building designers in this class.

- The remote audit was partly informed by a previous building surveyor audit conducted in 2020/21. This earlier audit identified areas of non-compliance with the Act by designers, in particular, Schedule 1 of the Director's Determination – Director's Specified List (September 2017).
- On 11 November 2022, Building Designers (Limited) were issued a section 22 notice by post which also included a blank copy of Annexure 1 for completion. In addition, auditees received an email containing an electronic version of Annexure 1 and an Excel spreadsheet containing audit questions. The Excel document contained a number of selectable dropdown fields to simplify the process and assist auditees with providing the necessary information.
- The designers were requested to submit their responses electronically. A dedicated mailbox was created for the audit and monitored by CBOS. An automated response which included frequently asked questions (FAQ) to assist designers with their enquiry was provided (Annexure 4).
- Personal information for designers has been de-identified and each designer assigned a number (Annexure 3) for the purpose of this report and its publication.
- Forty-nine (49) or 40% of the designers subject to the audit were determined to be exempt from the audit for the following reasons:
 - Forty seven (47) designers responded in writing advising CBOS they had not undertaken any Class 1 designs and had not issued a Form 35 since 1 July 2021.
 - Two (2) designers were also determined exempt after they advised they do not carry out class 1 design work.
- Seventy Two (72) designers provided 453 design drawings in total:
 - 67% (48) of the designers submitted the requested information and 292 corresponding designs, by the requested date of 9 December 2022.
 - 33% (24) of the designers requested an extension of time and were granted an additional 14 days to comply with the requirements of the section 22 notice, subsequently submitting the information and 161 corresponding designs.
 - Six (6) of those designers required an additional extension beyond 14 days for various reasons (including being out of the state, on holiday, or managing

workloads over the Christmas period). All outstanding information was provided to CBOS by 9 January 2023.

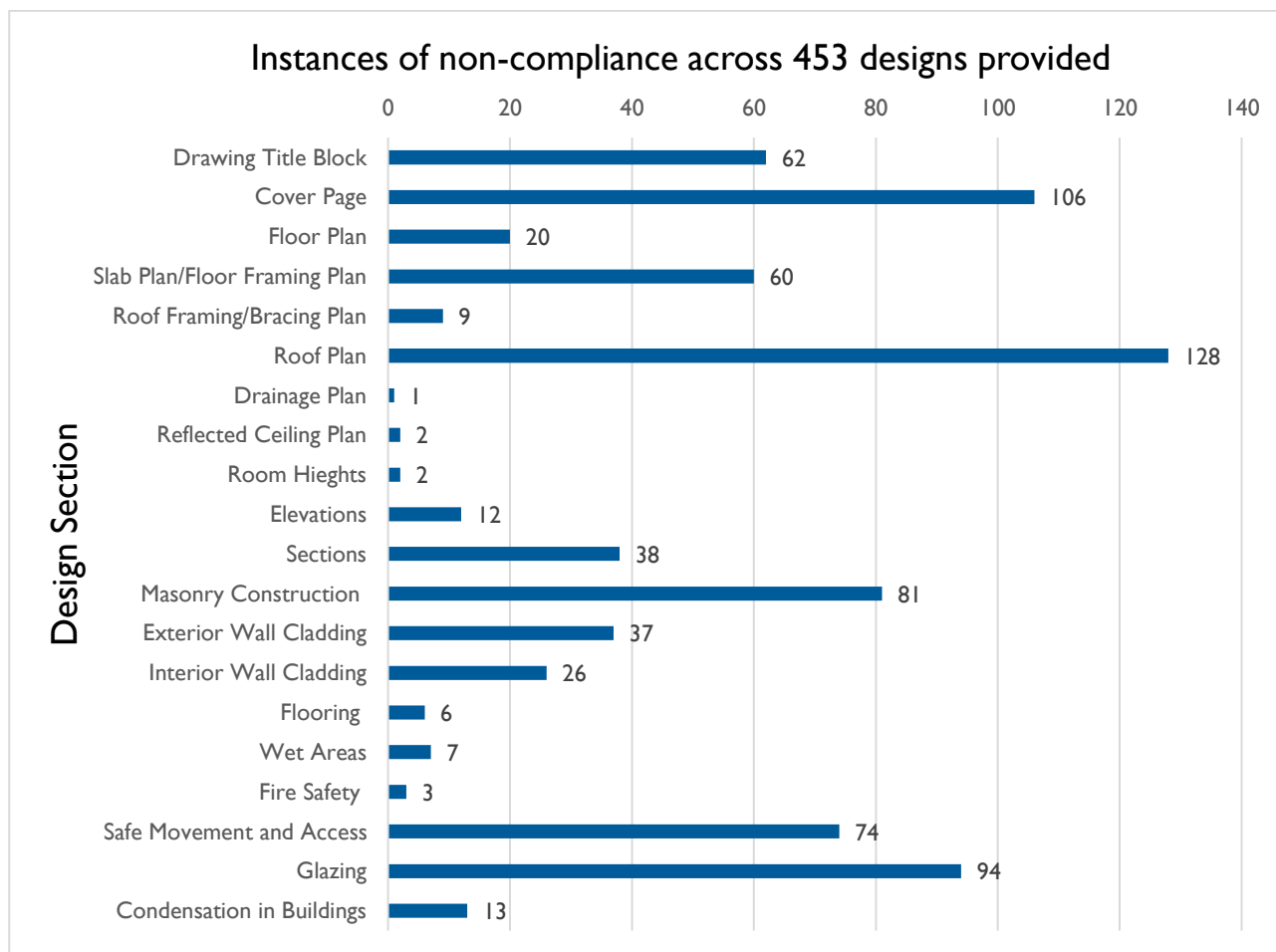
- Of the 72 designers, 21 met compliance with Schedule 1 for their designs. This was identified via the information supplied in the self-assessment tool (Annexure 1).
- Fifty (50) designers submitted 326 designs and self-reported 799 items of non-compliance against 118 entries in the Annexure.

Key Findings

- The data/information and documentation received is presented in Annexure 2 of this report.
- The audit measured compliance with the Act by assessing the work of building designers (Limited) against Schedule 1 of the Director's Determination – Director's Specified List (September 2017) in relation to class 1 buildings.
- 799 items of non-compliance against 118 entries in the Annexure were self-reported by auditees across 453 designs provided.
 - Three (3) items from Schedule 1 made up over 19% of all reported non-compliance.

Those items were:

- Roof plan dimensions (61 reported non-compliances).
- Opening size for ventilation of glazing (54 reported non-compliances).
- Title block on each drawing had no drawing number (38 reported non-compliances).
- Other notable non-compliances were:
 - Internal Glazing specifications not shown (35 reported non-compliances)
 - Eaves and overhang information not provided (29 reported non-compliances)
 - Land title reference number not on plans (24 reported non-compliances)
- The following graph depicts the total number of non-compliance by sub title. It should be noted the number of items per sub title vary, for example Cover Page includes 17 items, compared to Reflective Ceiling Plan with 1 item.



- Five (5) notices were returned to sender, unopened. All 5 designers were contacted and advised to update their details in accordance with Part 2 (5) of the Occupational Licensing (Building Services Work) Regulations 2016.

Stakeholder Feedback

- Various stakeholders (de-identified) provided general feedback about the Audit. Some of the feedback included:
 - **Designer 84** *'I love this spreadsheet. Be great to develop further. It's like the schedule I document I have on my desk.'*
 - **Designer 56** *'It's been a worthwhile exercise & has caused us to sharpen our focus on the detail.'*
 - **Designer 44** *'It has been an interesting task and I have found areas that I have missed that I will now implement in my drawings. The spreadsheet will be a good checklist for future drawings.'*

- **Designer 76** *'The amount of work you have requested in presenting ten projects is excessive and will require a great deal of time to prepare.'*
- **Designer 40** *'As a parting comment, I think it is monstrously impractical and unfair to expect single operators to complete 10 projects.'*
- **Designer 29** *'I've completed seven projects and looking through for a couple of others. I realise, by going through this process, I'm devoid in some areas and more clarification is needed. I could go through and redo the plans but I guess the requirement is to present the plans as they were presented to the Building Surveyor. I guess I put more emphasis on the structural components of the building and neglect other written statements. Ill hopefully get eight projects to you this afternoon and I could find a couple of small additions to add.'*
- **Designer 21** *'The audit has provided us with an opportunity to review aspects of our service delivery, most notably standard annotation notes and building scheduling which have been in service for many years. The example below is a revised version of our standard site information notes from our cover sheet, now displaying designer name and licence number and certificate of title information, to comply with Schedule 1 of The Director's Specified List. This will be included in all our projects moving forward.'*
- **Designer 43** *'Unfortunately there are a few items we have had to list as 'no' as they were missed our end and a few items are one's we had never specified. We value having undergone this process as this has given us a clear indication of what we are doing well and what we could improve on and we have already made adjustments to our building drawings to include any items that we commonly missed or hadn't included to all current and future drawing sets. I hope the comments provided assist you with finalising the audit.'*

Conclusions

- Of 72 designers audited, 21 designers were fully compliant with Schedule 1 of the Director's Determination – Director's Specified List (September 2017).
- Of the remaining 50 designers, a further 33 self-reported non-compliance of 3% and below, 17 designers reporting non-compliance between an average of 3.3% and 7.7%.
- Many of the designers expressed the view they had been unaware of the requirements of Schedule 1, and the audit has provided them incentive to improve their non-compliance voluntarily, rather than waiting for an enforced response at some later date.
- One (1) designer (Designer 35) reported a non-compliance rate of 28% with Schedule 1.

- The designer had licence conditions to indicate they were only permitted to carry out design drawings on Class 10a and 7b buildings. Due to the extent of non-compliance the designer was referred to CBOS' Building and Disputes team for investigation and enforcement.
- Eighty Five (85) requirements out of the 118 listed in Schedule 1 were reported, totalling 799 instances of non-compliance across the 453 designs provided.
- The data gathered in this audit indicates 71% of building service providers, building designers (Limited) failed to meet all requirements of Schedule 1 of the Director's Determination – Director's Specified List (September 2017), and were non-compliant with section 44 of the Act.
- The data gathered in the audit will be useful for future compliance activities in this sector, and the audit has ensured industry are aware of its obligations. The audit will inform future regulatory decisions should a designer be found to be consistently non-compliant. A consistent and regular audit should see rates of compliance improve.



Annexure I – Director’s Specified List – Designers Audit Tool

DESIGNER/ARCHITECT			
LICENCE NUMBER			
FULL PROPERTY ADDRESS			
BUILDING SURVEYOR NAME			
PERMIT AUTHORITY			
REQUIRED ATTACHMENTS (All documents listed in the section 22 notice and referenced below are to be provided)			
COMPLETED FORM 35 (must be attached)			
Schedule I Requirements (Red triangle in cell provides Notes)	Select	Reason specification not met	Doc/Drawing/ Page Number
Are the plans 1:200? (sample question)	No	Plans are 1:199 not 1:200 (sample answer)	Drawing No. A04
Design wind speed? (sample question)	Other	Completed by Structural Engineer (Joe Blogs) (sample answer)	Doc 12345
Swimming pools and spas (sample question)	NA	This section does not apply- no swimming pools and/or spas	NA
Project address (sample question)	Yes		Drawing No. A04
Drawing Title Block			
Title block on every drawing to contain:			
Licensed designer (usually name, licence number, address and contact number)			
Drawing number (including revision numbers and date) and number of drawings in set			
Project address			
Client name			
Cover Page			
Designer's name and licence number			
Project address			
Owner or client name			
Land title reference number (certificate folio and volume)			
Index of all drawings, specifications, schedules and attachments			
Total floor areas of each level and decks			
Design wind speed			
Designated Bushfire-Prone Area Bushfire Attack Level rating			
Alpine area (900m above AHD)			
Site Plan (1:200)			
The title boundaries, dimensions and directions of the land, including the north point, building line (distance between front of the building and front boundary line)			
The position and dimensions of any drains or service easements on the land			
The name of any street or way onto which the land abuts			
The position and dimensions on the allotment of the proposed building or building work			
Finished floor and site levels relative to site datum			
The relationship of the proposed building or building work to the boundaries of the land			

Schedule I Requirements (Red triangle in cell provides Notes)	Select	Reason specification not met	Doc/Drawing/ Page Number
The position of any buildings on adjoining properties within 3m of the boundary of the land			
Floor Plan (1:100)			
Dimensions (including room dimensions)			
Room uses			
Floor levels			
Facilities			
Windows and openings			
Location and specification of solid fuel, oil or gas heating appliances			
Garage doors			
Identification of existing structure			
Identify demolition, any asbestos containing material, heritage considerations			
Fire separation requirements			
Slab Plan / Floor Framing Plan (1:100) and Details (1:20)			
Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover			
Nominated founding depth and description of founding material			
Dimensioned plan and construction details of slabs including levels, falls or gradients			
Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details			
Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover			
Sub-floor vents (location and size per metre)			
Sub-floor bracing (masonry shear walls)			
Specify dimensions of engaged and isolated piers			
Retaining walls, dimensioned and showing position of drainage, founding levels and heights			
Concrete strength, finishing and curing requirements			
Specifications and installation details of proprietary and other systems			
Show minimum clearances to ground level of flooring system members			
Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span			
Joint, support and bearing details			
Roof Framing / Bracing Plan (1:100)			
Indicate details and type of supporting framework, load bearing and non-load bearing parts, lintels, beams, eaves details, roof pitch, ceiling height, roof shape or angle			
Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span			

Schedule I Requirements (Red triangle in cell provides Notes)	Select	Reason specification not met	Doc/Drawing/ Page Number
Joint, support and bearing details			
Bracing, tie downs and fixings			
Roof pitch, eave / overhang details			
Show location of roof mounted solar panels, hot water service or air conditioners			
Fire rating construction details			
Roof Plan (1:100)			
Dimensions			
Roof sheeting or tile specification including: Roof pitch / Batten spacing / Fixing requirements / Flashing details / Roof drainage			
Roof ventilators			
Eaves and overhang information			
Pre-Assembled Roof Trusses (timber or steel)			
Other Engineered designed products (beams, girders and the like) shall be noted on drawing as being "engineered designed" to a manufacturer's standard (as applicable)			
Drainage Plan (1:100)			
Documentation in accordance with Schedule 2 of the Director's Specified List			
Reflected Ceiling Plan (1:100)			
Indicating ceiling penetrations, skylights, and exhausts fans			
Room heights			
Elevations (1:100)			
All elevations should be drawn			
Position of all windows and doors			
Ceiling heights and floor levels			
Differentiate wall and roof cladding types			
Natural ground line dotted			
Roof lights / vents, air conditioning units, solar panels or solar hot water			
Sections (1:100)			
Generally taken through the highest and widest points of the building and should reveal details or facts which are otherwise concealed			
Section through stairs (where applicable)			
Ceiling / eaves heights and floor levels			
Project Specific Information (Note: May be included within drawings, schedules or specifications, including other consultants' documents)			
Masonry Construction			
Show unreinforced, reinforced or earthwall construction specifications and details			
Identify structural and non-structural walls			
Reinforcing specified for reinforced walls			
Identify fire rating requirements			

Schedule I Requirements (Red triangle in cell provides Notes)	Select	Reason specification not met	Doc/Drawing/ Page Number
Masonry unit sizes and bond patterns and tooling of joints			
Specification of brick ties and anchorages			
Mortar specification			
Cavity dimension and clean out specification			
Knockout blocks for washout			
Control joint location and detail			
Specify lintels and bond beams			
Weatherproofing and waterproofing details			
Flashings, damp proof course and weep holes			
Weephole guards (insects, bushfire-prone areas)			
Exterior Wall Cladding			
Cladding system description, manufacturer, material, pattern and colour, cavity detailing			
Fixings, flashings and other details			
Sub-floor ventilation			
Interior Wall Lining			
Specify material and system			
Wet areas specification (extent and system e.g. membrane, manufacturer and type)			
Flooring			
Specify material and system			
Wet Areas			
Waterproofing and water resistance requirements			
Fire Safety			
Smoke and heat alarms, location and type (interconnection where more than one)			
Emergency lighting (for Class 1b - State NA if not Class 1b)			
Fire separation details			
Bushfire-Prone Area specifications			
Alpine area requirements (900m above AHD)			
Safe Movement and Access (including stairs and ramps)			
Stair design details, balustrade construction and spacing of openings (gaps <125mm) and handrail details			
Clearance height above stair nosings			
Winders detail			
Dimensions of landings, risers and goings, non-slip nosings			
Method of construction, including aperture size, non-slip requirements			
Ramp slope and surface finish			

Schedule I Requirements (Red triangle in cell provides Notes)	Select	Reason specification not met	Doc/Drawing/ Page Number
Disability access requirements (for Class 1b - State NA if not Class 1b)			
Additional Construction Requirements			
High wind, earthquake, flood prone, landslide hazards, Bushfire- Prone Areas (others are shown on cover page of example drawings)			
Heritage buildings			
Glazing			
Window and Door systems description (i.e. single or double glazed, tinted or low E glass window and door frame material)			
Glazing specification			
Opening size for ventilation calculation			
Other glazing: Internal glazing specifications including wet area glazing, shower screens, doors / Balustrading system specification (glass and fixings) including height / Overhead glazing, roof or sky lights			
Energy Efficiency details: U Value, Solar Heat Gain Coefficient			
Condensation in Buildings			
The building design should provide adequate means of ventilation to the structure to ensure the long-term safety of the building.			

Annexure 2 – Director’s List - Identified non-compliance

The following table provides a list of minimum requirements for design documentation, for Class I buildings as determined in the Director’s Determination – Director’s Specified List (Schedule I).

The information below details how many occurrences of non-compliance was self-reported by the Designers against the schedule.

Responses provided by designers were reviewed and corrected, for example; where a designer answered NO and provided a comment to advise the reason for not providing the requirement due to it being completed by OTHER such as a Structural Engineer, these responses were amended accordingly. The original response was recorded to the side to maintain accurate reporting.

I. All Projects

Row	Minimum Requirement	Tally
	Drawing Title Block Title block in every drawing to contain:	
16	Licenced designer (usually name, licence number, address and contact number)	17
17	Drawing number (including revision numbers and date) and number of drawings in set	38
18	Project address	-
19	Client name	7
20	Cover Page	
21	Designer’s name and licence number	10
22	Project address	-
23	Owner or client name	8
24	Land title reference number (certificate folio and volume)	24
25	Index of all drawings, specifications, schedules and attachments	3
26	Total floor areas of each level and decks	5
27	Design wind speed	5
28	Designated Bushfire-Prone Area BAL rating (Bushfire Attack Level)	3
29	Alpine area (900m above AHD)	1
30	Site Plan (1:200) <i>Note: Site plans may be drawn at different scales where necessary.</i>	4
31	The title boundaries, dimensions and directions of the land, including the north point, building line (distance between front of the building and front boundary line).	2
32	The position and dimensions of any drains or service easements on the land	1
33	The name of any street or way onto which the land abuts	2
34	The position and dimensions on the allotment of the proposed building or building work	2
35	Finished floor and site levels relative to site datum	20

Row	Minimum Requirement	Tally
36	The relationship of the proposed building or building work to the boundaries of the land	4
37	The position of any buildings on adjoining properties within 3m of the boundary of the land	12
38	Floor Plan (1:100)	-
39	Dimensions (including room dimensions)	-
40	Room uses	-
41	Floor levels	18
42	Facilities	-
43	Windows and openings	-
44	Location and specification of solid fuel, oil or gas heating appliances	1
45	Garage doors	-
46	Identification of existing structure	-
47	Identify demolition, any asbestos containing material, heritage considerations	-
48	Fire separation requirements	1
49	Slab Plan / Floor Framing Plan (1:100) and Details (1: 20)	1
50	Dimensioned plan and construction details of footings including penetrations, step down details and placement of reinforcement including cover	10
51	Nominated founding depth and description of founding material	2
52	Dimensioned plan and construction details of slabs including levels, falls or gradients	13
53	Slab preparation including materials, thicknesses, compaction requirements, vapour barrier specifications and installation details	1
54	Construction details of penetrations, step downs in beams, set downs in slabs and placement details of reinforcement including cover	1
55	Sub-floor vents (location and size per metre)	6
56	Sub-floor bracing (masonry shear walls)	1
57	Specify dimensions of engaged and isolated piers	1
58	Retaining walls, dimensioned and showing position of drainage, founding levels and heights (see Project Specific Information)	-
59	Concrete strength, finishing and curing requirements	8
60	Specifications and install details of proprietary and other systems	1
61	Show minimum clearances to ground level of flooring system members	10
62	Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span	-
63	Joint, support and bearing details	-

Row	Minimum Requirement	Tally
64	Roof Framing / Bracing Plan (1:100)	1
65	Indicate details and type of supporting framework, load bearing and non-load bearing parts, lintels, beams, eave details, roof pitch, ceiling height, roof shape or angle	1
66	Framing drawings or schedules to indicate each structural member, dimensions, orientation, material, grade and size, spacing and span	-
67	Joint, support and bearing details	3
68	Bracing, tie downs and fixings	-
69	Roof pitch, eave / overhang details	8
70	Show location of roof mounted solar panels, hot water service or air conditioners	-
71	Fire rating construction details	1
72	Roof Plan (1:100)	14
73	Dimensions	61
74	Roof sheeting or tile specification including: Roof pitch / Batten spacing / Fixing requirements / Flashing details / Roof drainage	7
75	Roof ventilators	17
76	Eaves and overhang information	29
85	Pre-Assembled Roof Trusses (timber or steel)	-
86	Other Engineered designed products (beams, girders and the like) shall be noted on drawing as being “engineered designed” to a manufacturer’s standard (as applicable)	-
87	Drainage Plan (1:100) (Information may be shown on Site Plan or Floor Plan if legible)	1
88	Documentation in accordance with Schedule 2 of the Director’s Specified List	-
89	Reflected Ceiling Plan (1:100)	12
90	Indicating ceiling penetrations, skylights, and exhaust fans (for conditioned spaces)	8
91	Room heights	2
92	Elevations (1:100)	-
93	All elevations should be drawn	-
94	Position of all windows and doors	-
95	Ceiling heights and floor levels	3
96	Differentiate wall and roof cladding types	-
97	Natural ground line dotted	1
98	Roof lights / vents, air conditioning units, solar panels or solar hot water	8
99	Sections (1:100)	5
100	Generally taken through the highest and widest points of the building and should reveal details or facts which are otherwise concealed	3

Row	Minimum Requirement	Tally
101	Section through stairs (where applicable)	17
102	Ceiling / eaves heights and floor levels	13

Project Specific Information

Row	Minimum Requirement	Tally
104	Masonry Construction	-
105	Show unreinforced, reinforced or earthwall construction specifications and details	-
106	Identify structural and non-structural walls	-
107	Reinforcing specified for reinforced walls	-
108	Identify fire rating requirements	-
109	Masonry unit sizes and bond patterns and tooling of joints	17
110	Specification of brick ties and anchorages	9
111	Mortar specification	19
112	Cavity dimension and clean out specification	7
113	Knockout blocks for washout	2
114	Control joint location and detail	4
115	Specify lintels and bond beams	2
116	Weatherproofing and waterproofing details	5
117	Flashings, damp proof course and weep holes	7
118	Weephole guards (insects, bushfire-prone areas)	9
119	Exterior Wall Cladding	-
120	Cladding system description, manufacturer, material, pattern and colour, cavity detailing	17
121	Fixings, flashings and other details	10
122	Sub-floor ventilation	10
123	Interior Wall Lining	-
124	Specify material and system	8
125	Wet areas specification (extent and system e.g. membrane, manufacturer and type)	18
126	Flooring	-
127	Specify material and system	6
128	Wet Areas	-
129	Waterproofing and water resistance requirements for building elements in "Wet Areas"	7

Row	Minimum Requirement	Tally
130	Fire Safety	-
131	Smoke and heat alarms, location and type (interconnection where more than one)	3
132	Emergency lighting (for Class 1b)	-
133	Fire separation details	-
134	Bushfire-Prone Area specifications	-
135	Alpine area requirements (900m above AHD)	-
136	Safe Movement and Access (including stairs and ramps)	-
137	Stair design details, balustrade construction and spacing of openings (gaps <125mm) and handrail details	10
138	Clearance height above stair nosings	15
139	Winders detail	4
140	Dimensions of landlines, risers and goings, non-slip nosings	21
141	Method of construction, including aperture size, non-slip requirements	21
142	Ramp slope and surface finish	2
143	Disability access requirements (for Class 1b)	1
144	Additional Construction Requirements	-
145	High wind, earthquake, flood prone, landslide hazards, Bushfire-Prone Areas (others are shown on cover page of example drawings)	-
146	Heritage buildings	-
147	Glazing	-
148	Window and Door systems description (i.e. single or double glazed, tinted or low E glass window and door frame material)	-
149	Glazing specification	3
150	Opening size for ventilation calculation	54
151	Other glazing: Internal glazing specifications including wet area glazing, shower screens, doors / Balustrading system specification (glass and fixings) including height / Overhead glazing, roof or sky lights	35
152	Energy Efficiency details: U Value, Solar Heat Gain Coefficient	2
153	Condensation in Buildings	-
154	The building design should provide adequate means of ventilation to the structure to ensure the longer safety of the building.	13

Annexure 3 – De-identified summary of designer non-compliance

Forty Nine (49) designers considered exempt from the Audit have been removed from the below table.

De-Identified Reference	Date Complete Docs received	# of Properties provided (Out of 10)	Property # 1	Property # 2	Property # 3	Property # 4	Property # 5	Property # 6	Property # 7	Property # 8	Property # 9	Property # 10	Average Non-compliance
Designer 1	11/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 2	30/11/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 5	19/12/2022	2	1%	2%	0%	0%	0%	0%	0%	0%	0%	0%	1.5%
Designer 7	09/12/2022	4	1%	1%	1%	1%	0%	0%	0%	0%	0%	0%	1.0%
Designer 8	22/12/2022	9	3%	6%	3%	3%	6%	3%	3%	4%	0%	0%	3.4%
Designer 10	09/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 12	22/12/2022	10	0%	1%	0%	0%	0%	0%	0%	0%	0%	0%	0.1%
Designer 16	09/12/2022	10	0%	0%	3%	0%	2%	3%	1%	8%	0%	3%	2.0%
Designer 17	08/12/2022	10	0%	0%	0%	1%	0%	0%	0%	1%	0%	0%	0.2%
Designer 18	09/12/2022	3	5%	1%	4%	0%	0%	0%	0%	0%	0%	0%	3.3%
Designer 20	01/12/2022	1	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 21	05/12/2022	3	2%	4%	5%	0%	0%	0%	0%	0%	0%	0%	3.7%
Designer 22	22/11/2022	6	3%	0%	0%	0%	1%	0%	0%	0%	0%	0%	0.7%
Designer 23	14/11/2022	4	8%	3%	0%	0%	0%	0%	0%	0%	0%	0%	5.5%
Designer 24	30/12/2022	10	6%	5%	4%	3%	3%	3%	3%	4%	3%	3%	3.7%
Designer 27	22/12/2022	2	14%	0%	0%	0%	0%	0%	0%	0%	0%	0%	7.0%
Designer 28	22/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 29	14/12/2022	6	2%	2%	1%	0%	2%	6%	0%	0%	0%	0%	2.2%
Designer 34	05/01/2023	5	3%	2%	0%	0%	0%	0%	0%	0%	0%	0%	1.0%
Designer 35	21/11/2022	2	29%	27%	0%	0%	0%	0%	0%	0%	0%	0%	28.0%
Designer 37	09/12/2022	10	4%	3%	4%	3%	4%	3%	7%	8%	6%	6%	4.8%
Designer 38	22/12/2022	10	1%	3%	3%	1%	3%	3%	2%	2%	1%	2%	2.1%

De-Identified Reference	Date Complete Docs received	# of Properties provided (Out of 10)	Property # 1	Property # 2	Property # 3	Property # 4	Property # 5	Property # 6	Property # 7	Property # 8	Property # 9	Property # 10	Average Non-compliance
Designer 39	05/12/2022	10	2%	0%	1%	0%	0%	1%	1%	2%	0%	1%	0.8%
Designer 41	07/12/2022	1	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 43	07/12/2022	10	5%	3%	3%	4%	4%	2%	3%	6%	3%	3%	3.6%
Designer 44	08/12/2022	7	2%	1%	2%	0%	3%	3%	3%	0%	0%	0%	2.0%
Designer 46	05/12/2022	5	1%	1%	1%	0%	0%	0%	0%	0%	0%	0%	0.6%
Designer 47	11/12/2022	2	1%	1%	0%	0%	0%	0%	0%	0%	0%	0%	1.0%
Designer 49	07/12/2022	2	2%	2%	0%	0%	0%	0%	0%	0%	0%	0%	2.0%
Designer 53	23/12/2022	10	0%	0%	0%	0%	0%	0%	1%	0%	0%	0%	0.1%
Designer 55	09/12/2022	5	1%	1%	0%	1%	0%	0%	0%	0%	0%	0%	0.6%
Designer 56	08/12/2022	10	0%	0%	0%	0%	0%	0%	1%	0%	1%	0%	0.2%
Designer 57	14/12/2022	3	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 58	08/12/2022	1	5%	0%	0%	0%	0%	0%	0%	0%	0%	0%	5.0%
Designer 59	07/12/2022	10	0%	0%	0%	1%	3%	3%	2%	2%	2%	3%	1.6%
Designer 60	09/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 64	06/12/2022	10	9%	5%	7%	2%	2%	5%	3%	3%	3%	3%	4.2%
Designer 69	23/12/2022	2	1%	1%	0%	0%	0%	0%	0%	0%	0%	0%	1.0%
Designer 72	07/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 75	29/12/2022	4	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 76	27/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 77	09/01/2023	10	3%	3%	3%	3%	3%	3%	3%	2%	2%	3%	2.8%
Designer 78	28/11/2022	1	5%	0%	0%	0%	0%	0%	0%	0%	0%	0%	5.0%
Designer 79	23/12/2022	2	2%	0%	0%	0%	0%	0%	0%	0%	0%	0%	1.0%
Designer 80	24/11/2022	3	7%	8%	8%	0%	0%	0%	0%	0%	0%	0%	7.7%
Designer 81	08/12/2022	1	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 82	15/11/2022	1	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 84	13/12/2022	10	0%	2%	1%	1%	1%	1%	1%	1%	0%	0%	0.8%

De-Identified Reference	Date Complete Docs received	# of Properties provided (Out of 10)	Property # 1	Property # 2	Property # 3	Property # 4	Property # 5	Property # 6	Property # 7	Property # 8	Property # 9	Property # 10	Average Non-compliance
Designer 86	08/12/2022	10	4%	4%	7%	4%	3%	4%	3%	3%	3%	3%	3.8%
Designer 88	23/12/2022	2	2%	1%	0%	0%	0%	0%	0%	0%	0%	0%	1.5%
Designer 89	05/12/2022	1	4%	0%	0%	0%	0%	0%	0%	0%	0%	0%	4.0%
Designer 90	30/11/2022	1	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 91	29/11/2022	1	3%	0%	0%	0%	0%	0%	0%	0%	0%	0%	3.0%
Designer 93	07/01/2023	10	1%	1%	0%	0%	3%	5%	1%	3%	2%	2%	1.8%
Designer 96	09/12/2022	10	1%	2%	1%	1%	0%	0%	3%	1%	1%	2%	1.2%
Designer 98	07/12/2022	7	1%	0%	3%	5%	5%	7%	4%	0%	0%	0%	3.6%
Designer 100	05/12/2022	6	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 101	08/12/2022	10	0%	1%	1%	0%	0%	0%	0%	0%	0%	0%	0.2%
Designer 102	09/12/2022	10	3%	14%	2%	3%	5%	5%	7%	5%	3%	11%	5.8%
Designer 104	07/12/2022	5	4%	5%	1%	3%	1%	0%	0%	0%	0%	0%	2.8%
Designer 106	09/12/2022	10	1%	1%	3%	1%	1%	1%	1%	0%	2%	3%	1.4%
Designer 108	26/11/2022	3	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 109	12/12/2022	10	1%	1%	1%	1%	1%	1%	1%	1%	1%	1%	1.0%
Designer 110	26/11/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 111	19/11/2022	2	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 112	23/12/2022	10	3%	3%	2%	4%	3%	2%	1%	2%	5%	0%	2.5%
Designer 113	09/12/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 114	24/11/2022	10	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 115	06/12/2022	1	1%	0%	0%	0%	0%	0%	0%	0%	0%	0%	1.0%
Designer 116	19/12/2022	2	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0.0%
Designer 117	07/12/2022	5	2%	1%	0%	3%	1%	0%	0%	0%	0%	0%	1.4%
Designer 119	06/12/2022	10	3%	3%	3%	3%	8%	2%	8%	3%	3%	0%	3.6%

Annexure 4 – Automated e-mail response/Frequently asked questions

Thank you for your enquiry,

We are experiencing a high volume of enquiries, however one of our PACT Compliance Officers will respond to you in due course. We strive to address all enquiries within 5 days.

While you wait, some of these 'Frequently Asked Questions' may assist you.

Q: I have not done any designs for Class I buildings since 1 July 2021; do I still need to provide any information?

A: If you provide CBOS with advice that you have not been engaged or undertaken any Class I design work since 1 July 2021, please advise us of this, and you are not required to do anything further.

Please note, it is an offence to provide a false or misleading statement to an Authorised Officer and it is an offence to not comply with the section 22 notice that was provided to you.

Q: I have done some Class I designs however not issued a Form 35, do I still need to provide any information?

A: If you completed design drawings and forward them to a Building Surveyor or Client, as a next step you should have completed the Form 35. Accordingly, you still need to provide the information.

Please refer to the CBOS website for the Form 35 and other useful forms can be located here: [CBOS - Approved Forms](#).

Q: I'm confused as to how to complete the form for each property; if I select 'No' or 'NA' do I need to provide a response?

A: Yes, you do, please refer to the example on the top of each form that has a (sample No and N/A reply)

Q: I have only done four Class I designs since 1 July 2021, not ten, is this still ok?

A: Yes, please still provide the requested details of the four properties you have completed designs for.

We look forward to speaking with you soon!

